

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

DRIVING DIRECTIONS

STARTING AT O'HARE INTERNATIONAL AIRPORT
10000 W BALMORAL AVE, CHICAGO, IL 60666:

GET ON I-190. HEAD SOUTHWEST ON I-190 W. TAKE THE BESSIE COLEMAN DR EXIT TOWARD AIRPORT TERMINAL 5/A R.F.F. STAGING AREA D. TURN RIGHT ONTO BESSIE COLEMAN DR. TAKE I-294 S TO IL-38 W/ROOSEVELT RD IN PROVISO TOWNSHIP. TAKE EXIT 30B FROM I-294 N. TAKE EXIT 1D TOWARD I-294 S/INDIANA'S TOLLWAY. USE THE RIGHT 3 LANES TO TAKE THE 22ND ST EXIT. KEEP RIGHT AT THE FORK AND MERGE ONTO W CERMAK RD. USE THE RIGHT LANE TO MERGE ONTO I-294 N VIA THE RAMP TO WISCONSIN. TAKE EXIT 30B FOR IL-38/ROOSEVELT RD W. CONTINUE ON IL-38 W/ROOSEVELT RD. DRIVE TO W HIGHRIDGE RD IN VILLA PARK. MERGE ONTO IL-38 W/ROOSEVELT RD. TURN RIGHT ONTO ARDMORE AVE. TURN LEFT ONTO W HIGHRIDGE RD. SITE WILL BE LOCATED ON THE LEFT HAND SIDE.

SCAN FOR DRIVING DIRECTIONS



SITE INFORMATION

SITE ADDRESS: 355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

LATITUDE (NAD 83): N41° 51' 59.9022" (41.86663951° N)
LONGITUDE (NAD 83): W87° 59' 11.4814" (-87.98652260° W)

GROUND ELEVATION: 700.106' (AMSL)

JURISDICTION: VILLAGE OF VILLA PARK

JURISDICTION CONTACT: TBD

ZONING: PU

PARCEL/MAP NUMBER: 0616401054

PARCEL OWNER: DUPAGE HIGH SCHOOL DISTRICT NO. 88
2 FRIENDSHIP PLAZA
ADDISON, IL 60101

TOWER OWNER: TOWERCO LLC
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

STRUCTURE TYPE: MONOPOLE TOWER

STRUCTURE HEIGHT: 115'-0" (AGL)

POWER SUPPLIER: COMED

FIBER SUPPLIER: AT&T

PROJECT TEAM

APPLICANT: TOWERCO LLC
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

PROJECT MANAGEMENT FIRM: BUELL CONSULTING
720 MAIN STREET, SUITE 200
SAINT PAUL, MN 55118
AARON VALLEY
(630) 699-6196

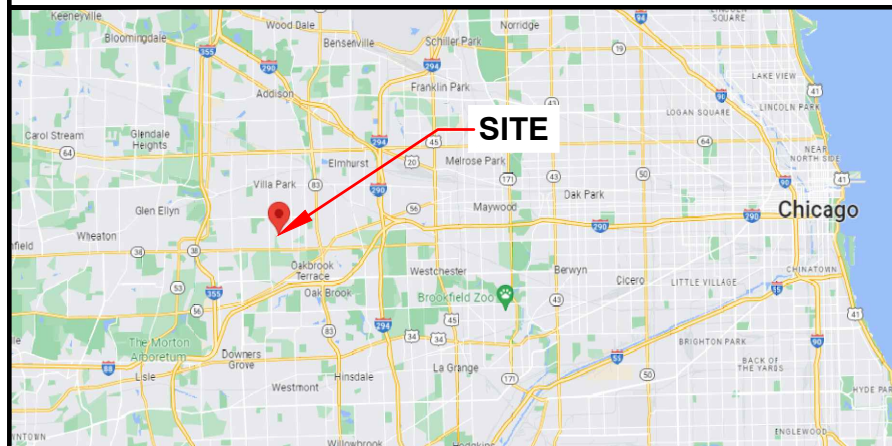
ARCHITECT ENGINEERING: RAMAKER & ASSOCIATES, INC.
1955 ATWOOD AVE
MADISON, WI 53704
CONTACT: MICHAEL L. PINSKE
PHONE: (608) 643-4100
EMAIL: MPINSKE@RAMAKER.COM



TowerCo

TOWERCO SITE ID: IL0378
TOWERCO SITE NAME: VILLA PARK
SITE ADDRESS: 355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181
PID: 0616401054
AT&T FA #: 11678323

VICINITY MAP



LOCATION MAP



CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE
- MOST CURRENT EDITION - ILLINOIS PLUMBING CODE
- MOST CURRENT EDITION - ILLINOIS ACCESSIBILITY
- MOST CURRENT EDITION - INTERNATIONAL ENERGY CONSERVATION CODE
- 2020 NATIONAL ELECTRIC CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL SWIMMING POOL AND SPA CODE

CONSTRUCTION APPROVAL

TOWERCO SITE ACQUISITION MANAGER: _____ DATE: _____
TOWERCO CONSTRUCTION MANAGER: _____ DATE: _____
RF PROJECT MANAGER: _____ DATE: _____
PROJECT MANAGER: _____ DATE: _____



DRAWING INDEX

- T-1 TITLE SHEET
- B-1 SITE SURVEY
- B-1.1 SITE SURVEY
- B-1.2 SITE SURVEY
- B-1.3 SITE SURVEY
- A-1 OVERALL SITE PLAN
- A-2 ENLARGED SITE PLAN
- A-3 ELEVATION
- A-4 CONSTRUCTION DETAILS
- A-4.1 VILLA PARK DETAILS
- A-5 FENCE DETAILS
- A-5.1 FENCE DETAILS
- A-6 SITE SIGNAGE
- A-8 EROSION CONTROL DETAILS
- A-9 STEEL BARRIER GATE DETAILS
- A-10 VILLA PARK NOTES
- A-11 DUPAGE COUNTY STORMWATER MANAGEMENT CERTIFICATE
- C-1 STORMWATER MANAGEMENT EXISTING CONDITIONS
- C-2 STORMWATER MANAGEMENT UTILITY PLAN
- C-3 STORMWATER STANDARDS & DETAILS
- E-1 UTILITY PLAN
- E-2 UTILITY DETAILS
- E-3 ELECTRICAL DIAGRAM
- G-1 GROUNDING PLAN & DETAILS
- G-2 GROUNDING PLAN & DETAILS

DRAWING SCALE

THESE DRAWINGS ARE SCALED TO FULL SIZE AT 22"x34" AND HALF SIZE AT 11"x17". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICE TO PREVENT STORM WATER POLLUTION DURING CONSTRUCTION.

SCOPE OF WORK

THIS PROJECT CONSISTS OF :

- CONSTRUCTION OF A NEW UNMANNED TELECOMMUNICATIONS FACILITY
- SITE WORK: NEW TOWER, UNMANNED EQUIPMENT CABINET ON CONCRETE PAD, AND UTILITY INSTALLATIONS



Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN ILLINOIS, CALL ILLINOIS ONE CALL
TOLL FREE: 1-800-892-0123 OR
www.illinois1call.com

ILLINOIS STATUTE
REQUIRES MIN OF 2
WORKING DAYS NOTICE
BEFORE YOU EXCAVATE



DRAWN BY: JS
CHECKED BY: —

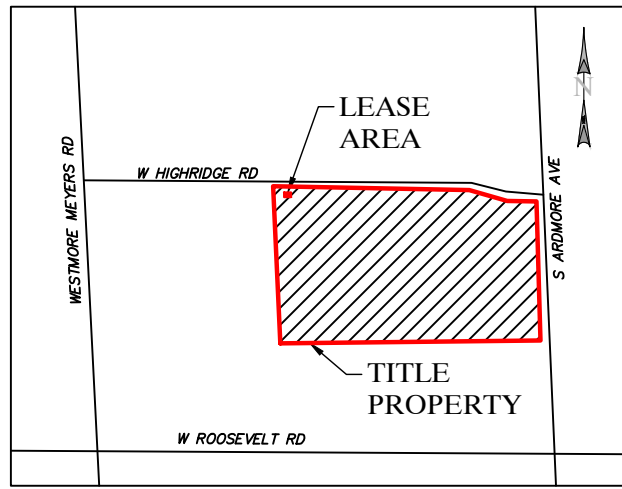
REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION



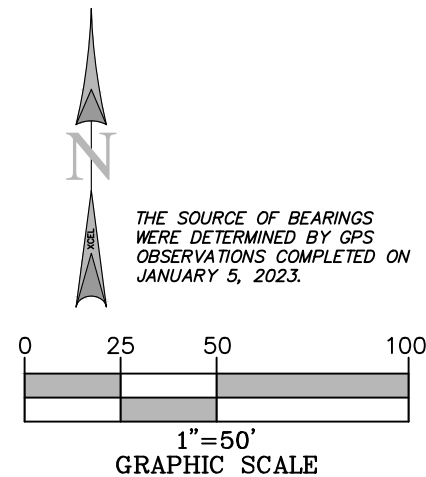
TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



VICINITY MAP
NOT TO SCALE



THE SOURCE OF BEARINGS WERE DETERMINED BY GPS OBSERVATIONS COMPLETED ON JANUARY 5, 2023.

*** FAA COORDINATE POINT**

NAD 83
LATITUDE: 41°51'59.7306" (41.86659182)
LONGITUDE: -87°59'11.4838" (87.9852329)
NAVD88
ELEVATIONS: 700.0± AMSL

TEMPORARY BENCHMARK

LATITUDE: 41°52'00.4061" (41.86677947)
LONGITUDE: -87°59'12.7734" (-87.98688149)
ELEVATION: 703.291'
LOCATION: MAG NAIL IN BITUMINOUS PATH

GLOBAL POSITIONING SYSTEMS NOTE

1. RANDOM TRAVERSE CONTROL MONUMENTS WERE SET USING GPS METHODS. A PORTION OF THE TOPOGRAPHY AND FOUND BOUNDARY MONUMENTS WERE ALSO LOCATED USING GPS METHODS.
2. THE TYPE OF GPS UTILIZES AS NETWORK ADJUSTED REAL TIME KINEMATIC (TOPCON VRS NETWORK), NAD 83 ILLINOIS STATE PLANE (EAST).
3. TOPCON HIPER SR RECEIVERS WERE USED TO PERFORM THE SURVEY.

GENERAL NOTES

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY XCEL CONSULTANTS TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE PARENT PARCEL.

THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED EASEMENTS ONLY, AND ONLY A PARTIAL BOUNDARY SURVEY OF THE PARENT PARCEL HAS BEEN PERFORMED.

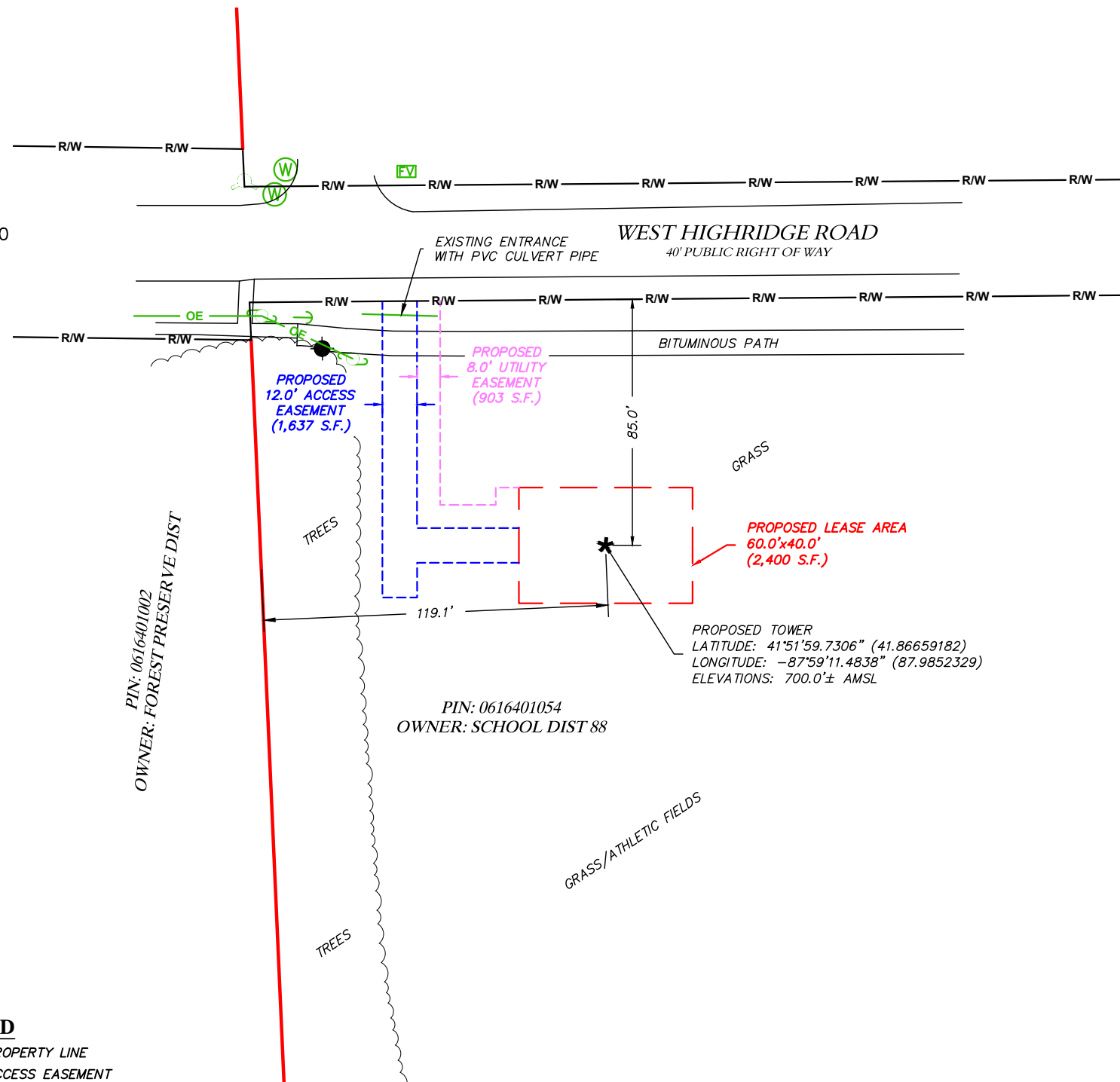
THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

XCEL CONSULTANTS HAS RECEIVED AND REVIEWED THE TITLE REPORT PREPARED BY AMC SETTLEMENT SERVICES, ORDER NUMBER 50027368, DATED NOVEMBER 7, 2022, PREPARED FOR THE PARENT PROPERTY.

LEGEND

	PROPERTY LINE
	ACCESS EASEMENT
	UTILITY EASEMENT
	LEASE AREA
	RIGHT OF WAY LINE
	OVERHEAD ELECTRIC LINE
	STORM CULVERT
	CONTOURS
	CENTERLINE OF TOWER LOCATION
	WATER MANHOLE
	FIRE HYDRANT
	FIBER OPTIC VAULT
	UTILITY POLE
	GUY WIRE



SITE SURVEY



I, JAMES A. FAETANINI, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREIN WERE CONDUCTED IN ACCORDANCE WITH THE ILLINOIS MINIMUM STANDARDS OF PRACTICE.

James A. Faetanani
AUGUST 19, 2025

JAMES A. FAETANINI
LICENSE NUMBER 035-003494
MY LICENSE RENEWAL DATE IS NOVEMBER 30, 2026
SHEETS COVERED BY THIS SEAL B-1, B-1.1, B-1.2, AND B-1.3

PREPARED FOR:
WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

PREPARED FOR:

SURVEYED BY:

XCEL Consultants
8300 42ND STREET WEST
ROCK ISLAND, IL 61201
(O) 309-787-9988
(F) 309-756-5540
(E) XCEL@XCELCONSULTANTSINC.COM

XCEL PROJECT NUMBER: 224443

SITE SURVEY

REV.	DATE	DESCRIPTION
A	2/28/23	ISSUED AS FINAL
B	8/19/25	MOVE ALL 20' SOUTH
C	8/19/25	REISSUED AS FINAL

SITE INFORMATION:

VILLA PARK
1250 S. ARDMORE AVENUE
VILLA PARK, IL 60181
DUPAGE COUNTY
TAX PARCEL NUMBER:
0616401054
PROPERTY OWNER:
SCHOOL DISTRICT 88
1250 S ARDMORE
VILLA PARK, IL 60181

SITE NUMBER:
IL0378

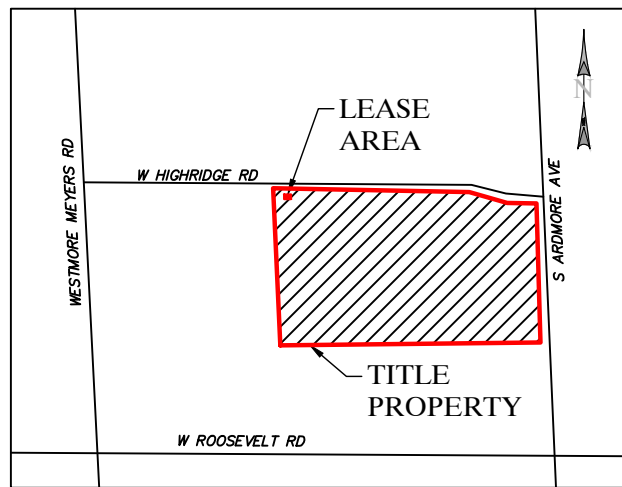
DRAWN BY: KJM
CHECKED BY: BCH
SURVEY DATE: 1/5/2023
PLAT DATE: 8/19/2025

SHEET TITLE:

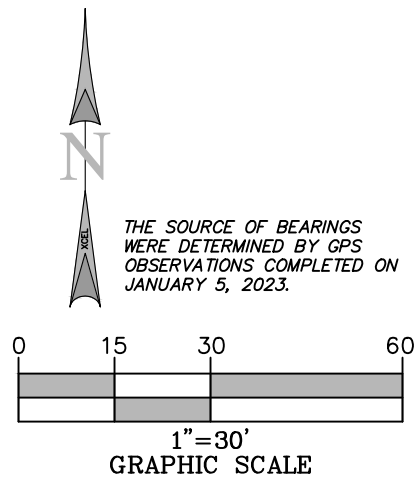
SITE SURVEY
THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL

SHEET NUMBER:

B-1



VICINITY MAP
NOT TO SCALE



*** FAA COORDINATE POINT**
NAD 83
LATITUDE: 41°51'59.7306" (41.86659182)
LONGITUDE: -87°59'11.4838" (87.9852329)
NAVD88
ELEVATIONS: 700.0± AMSL

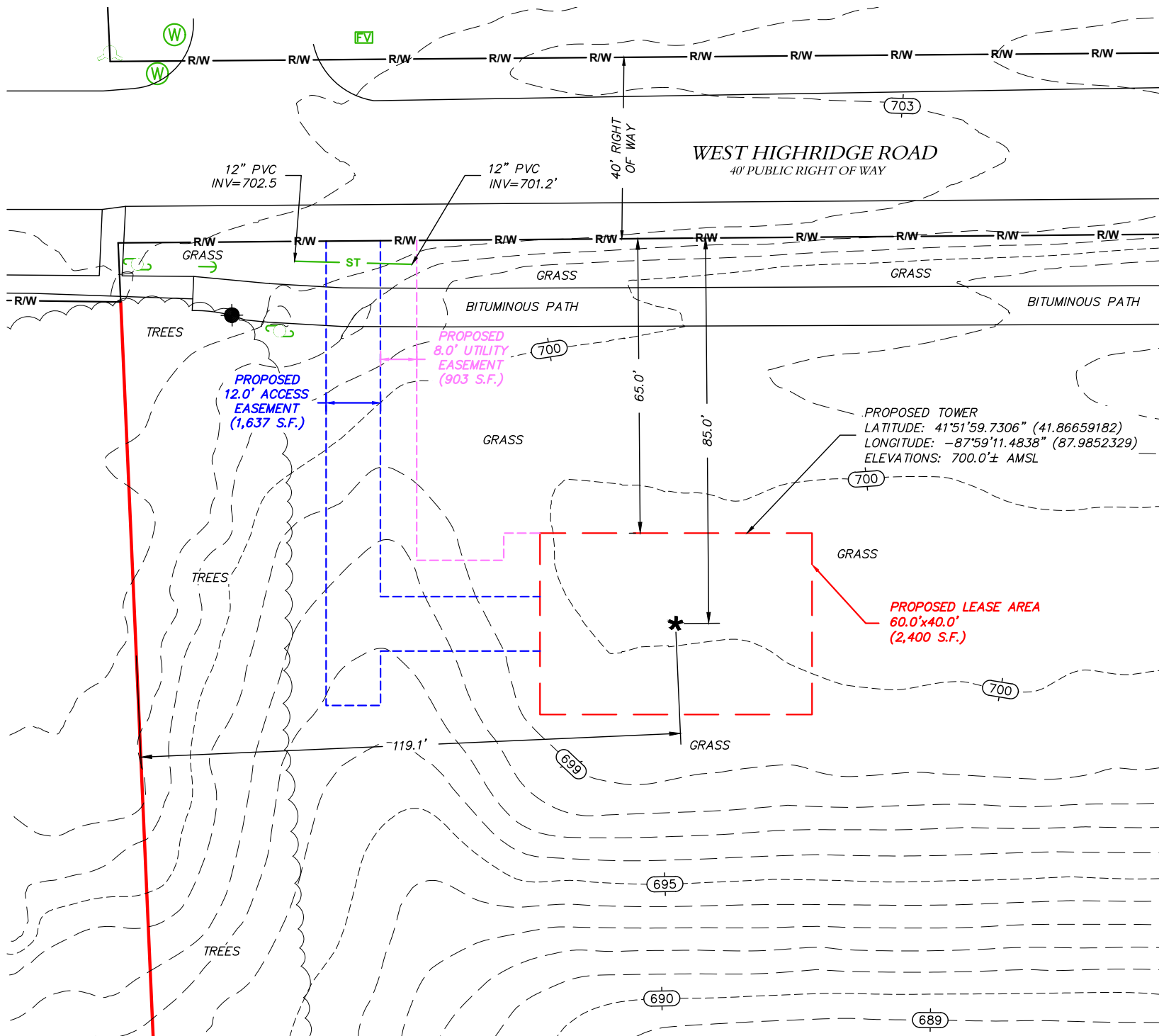
● TEMPORARY BENCHMARK
LATITUDE: 41°52'00.4061" (41.86677947)
LONGITUDE: -87°59'12.7734" (-87.98688149)
ELEVATION: 703.291'
LOCATION: MAG NAIL IN BITUMINOUS PATH

LEGEND

	PROPERTY LINE
	ACCESS EASEMENT
	UTILITY EASEMENT
	LEASE AREA
	RIGHT OF WAY LINE
	OVERHEAD ELECTRIC LINE
	STORM CULVERT
	CONTOURS
	CENTERLINE OF TOWER LOCATION
	WATER MANHOLE
	FIRE HYDRANT
	FIBER OPTIC VAULT
	UTILITY POLE
	GUY WIRE

GENERAL NOTES

- NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY XCEL CONSULTANTS TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE PARENT PARCEL.
- THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED EASEMENTS ONLY, AND ONLY A PARTIAL BOUNDARY SURVEY OF THE PARENT PARCEL HAS BEEN PERFORMED.
- THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.
- THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.
- XCEL CONSULTANTS HAS RECEIVED AND REVIEWED THE TITLE REPORT PREPARED BY AMC SETTLEMENT SERVICES, ORDER NUMBER 50027368, DATED NOVEMBER 7, 2022, PREPARED FOR THE PARENT PROPERTY.



SITE SURVEY

GLOBAL POSITIONING SYSTEMS NOTE

- RANDOM TRAVERSE CONTROL MONUMENTS WERE SET USING GPS METHODS. A PORTION OF THE TOPOGRAPHY AND FOUND BOUNDARY MONUMENTS WERE ALSO LOCATED USING GPS METHODS.
- THE TYPE OF GPS UTILIZES AS NETWORK ADJUSTED REAL TIME KINEMATIC (TOPCON VRS NETWORK), NAD 83 ILLINOIS STATE PLANE (EAST).
- TOPCON HIPER SR RECEIVERS WERE USED TO PERFORM THE SURVEY.

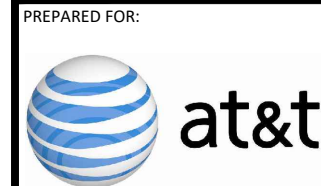


I, JAMES A. FAETANANI, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREIN WERE CONDUCTED IN ACCORDANCE WITH THE ILLINOIS MINIMUM STANDARDS OF PRACTICE.

James A. Faetanani
AUGUST 19, 2025

JAMES A. FAETANANI
LICENSE NUMBER 035-003494
MY LICENSE RENEWAL DATE IS NOVEMBER 30, 2026
SHEETS COVERED BY THIS SEAL B-1, B-1.1, B-1.2, AND B-1.3

PREPARED FOR:
WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com



SURVEYED BY:
XCEL Consultants
8300 42ND STREET WEST
ROCK ISLAND, IL 61201
(O) 309-787-9988
(F) 309-756-5540
(E) XCEL@XCELCONSULTANTSINC.COM

XCEL PROJECT NUMBER: 224443

SITE SURVEY

REV.	DATE	DESCRIPTION
A	2/28/23	ISSUED AS FINAL
B	8/19/25	MOVE ALL 20' SOUTH
C	8/19/25	REISSUED AS FINAL

SITE INFORMATION:

VILLA PARK
1250 S. ARDMORE AVENUE
VILLA PARK, IL 60181
DUPAGE COUNTY
TAX PARCEL NUMBER:
0616401054
PROPERTY OWNER:
SCHOOL DISTRICT 88
1250 S ARDMORE
VILLA PARK, IL 60181

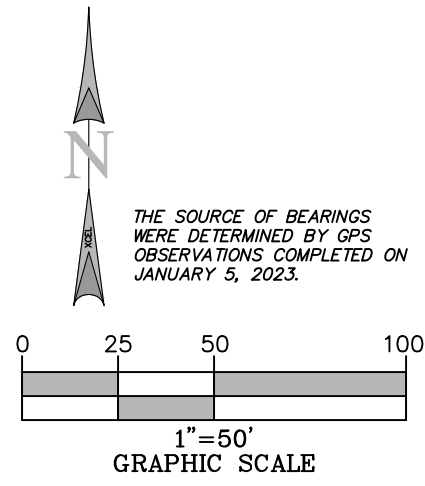
SITE NUMBER:
IL0378

DRAWN BY: KJM
CHECKED BY: BCH
SURVEY DATE: 1/5/2023
PLAT DATE: 8/19/2025

SITE SURVEY

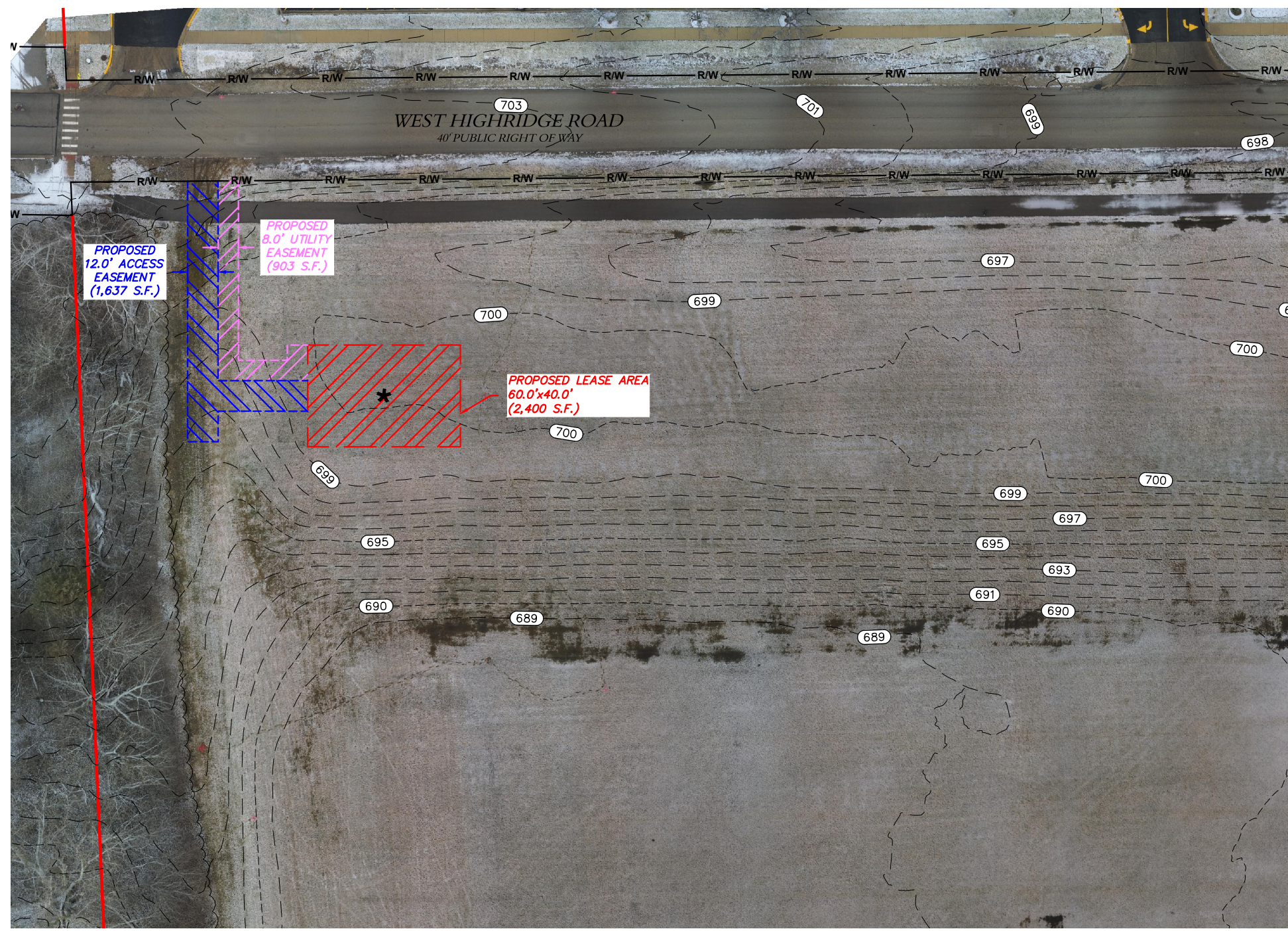
THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL

SHEET NUMBER:
B-1.1



AERIAL FROM XCEL FLOWN DRONE ON JANUARY 5, 2023

- PROPERTY LINE
- LEASE AREA
- ACCESS EASEMENT
- UTILITY EASEMENT
- CONTOURS
- CENTERLINE OF TOWER LOCATION



AERIAL SURVEY



I, JAMES A. FAETANINI, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREIN WERE CONDUCTED IN ACCORDANCE WITH THE ILLINOIS MINIMUM STANDARDS OF PRACTICE.

James A Faetanini AUGUST 19, 2025

JAMES A. FAETANINI
LICENSE NUMBER 035-003494
MY LICENSE RENEWAL DATE IS NOVEMBER 30, 2026
SHEETS COVERED BY THIS SEAL B-1, B-1.1, B-1.2, AND B-1.3

PREPARED FOR:
WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com



SURVEYED BY:

XCEL
Consultants
8300 42ND STREET WEST
ROCK ISLAND, IL 61201
(O) 309-787-9988
(F) 309-756-5540
(E) XCEL@XCELCONSULTANTSINC.COM

XCEL PROJECT NUMBER: 224443

SITE SURVEY		
REV.	DATE	DESCRIPTION
A	2/28/23	ISSUED AS FINAL
B	8/19/25	MOVE ALL 20' SOUTH
C	8/19/25	REISSUED AS FINAL

SITE INFORMATION:
VILLA PARK

1250 S. ARDMORE AVENUE
VILLA PARK, IL 60181
DUPAGE COUNTY

TAX PARCEL NUMBER:
0616401054

PROPERTY OWNER:
SCHOOL DISTRICT 88
1250 S ARDMORE
VILLA PARK, IL 60181

SITE NUMBER:
IL0378

DRAWN BY: KJM
CHECKED BY: BCH
SURVEY DATE: 1/5/2023
PLAT DATE: 8/19/2025

SHEET TITLE:
SITE SURVEY
THIS DOES NOT REPRESENT A
BOUNDARY SURVEY OF THE
PARENT PARCEL

SHEET NUMBER:
B-1.2

REPORT OF TITLE:

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY XCEL CONSULTANTS, INC. AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENT, AUGMENTING EASEMENT, IMPLIES OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. INFORMATION REGARDING THESE MATTERS WERE GAINED FROM AMC SETTLEMENT SERVICES, ORDER NUMBER 50027368, DATED NOVEMBER 7, 2022, PREPARED FOR THE PARENT PROPERTY

SURVEY MATTERS OR EASEMENTS LISTED IN SCHEDULE 'B':

8. SUBJECT TO AGREEMENT BETWEEN THE YORK HIGHWAY COMMISSION AND JAMES K. RIORDAN DATED 12/24/1928 AND RECORDED 03/07/1929 IN DOCUMENT NO. 275330, DUPAGE COUNTY RECORDS. REFERENCES PARENT PARCEL - DOES NOT AFFECT PROPOSED LEASE NOR PROPOSED EASEMENTS
9. SUBJECT TO RESOLUTION BY THE BOARD OF EDUCATION OF COMMUNITY HIGH SCHOOL DISTRICT 88 DATED 07/10/1963 AND RECORDED 07/19/1963 IN DOCUMENT NO. R63-24588, DUPAGE COUNTY RECORDS. REFERENCES PARENT PARCEL - NOTHING TO PLOT
10. SUBJECT TO PLAT OF DEDICATION FOR A PUBLIC STREET DATED 04/03/1967 AND RECORDED 05/23/1967 IN DOCUMENT NO. R67-16398, DUPAGE COUNTY RECORDS. REFERENCES PARENT PARCEL - ESTABLISHES RIGHT OF WAY OR ARDMORE AVENUE-NOTHING TO PLOT
11. SUBJECT TO EASEMENT GRANT FROM THE BOARD OF EDUCATION OF COMMUNITY HIGH SCHOOL DISTRICT NO. 88 TO VILLAGE OF VILLA PARK DATED 06/23/1980 AND RECORDED 04/09/1981 IN DOCUMENT NO. R81-17872, DUPAGE COUNTY RECORDS. AFFECTS PARENT PARCEL - EASEMENT IS LOCATED 300'± SOUTH OF PROPOSED LEASE AREA

PARENT PARCEL, LEGAL DESCRIPTION (NOT FIELD SURVEYED) PER TITLE

ALL THAT PARCEL OF LAND IN THE COUNTY OF DU PAGE AND STATE OF ILLINOIS AS MORE FULLY DESCRIBED IN DEED DOCUMENT NUMBER R74-03004 AND BOOK 878 PAGE 65 AND PARCEL # 06-16-401-054, BEING KNOWN AND DESIGNATED AS:

SEE DEED COPIES ATTACHED FOR LEGAL DESCRIPTIONS

LESS AND EXCEPT PROPERTY CONVEYED IN TRUSTEE'S DEED FROM BOARD OF EDUCATION OF COMMUNITY HIGH SCHOOL DISTRICT NO. 88 TO VILLAGE OF VILLA PARK DATED 07/30/1963 AND RECORDED 11/21/1963 IN DOCUMENT NO. R63-42858.

LESS AND EXCEPT PROPERTY CONVEYED IN TRUSTEE'S DEED FROM BOARD OF EDUCATION OF COMMUNITY HIGH SCHOOL DISTRICT NO. 88 TO VILLAGE OF VILLA PARK DATED 12/26/1973 AND RECORDED 01/18/1974 IN DOCUMENT NO. R74-03003.

PARCEL NUMBER: 06-16-401-054

BEING THE SAME PROPERTY ACQUIRED BY COUNTY BOARD OF SCHOOL TRUSTEES OF DUPAGE COUNTY, ILLINOIS FOR THE USE OF COMMUNITY HIGH SCHOOL DISTRICT NO. 88 BY DEED OF VILLAGE OF VILLA PARK, AN ILLINOIS MUNICIPAL CORPORATION, DATED 01/14/1974 AND RECORDED 01/18/1974 IN DOCUMENT NUMBER : R74-03004

BEING THE SAME PROPERTY ACQUIRED BY COUNTY BOARD OF SCHOOL TRUSTEES OF DU PAGE COUNTY, ILLINOIS AND THEIR SUCCESSORS IN OFFICE, FOR THE USE OF COMMUNITY HIGH SCHOOL DISTRICT NUMBER 88 BY DEED OF LA SALLE NATIONAL BANK, A NATIONAL BANKING ASSOCIATION, OF CHICAGO, ILLINOIS, AS TRUSTEE UNDER THE PROVISIONS OF A DEED OR DEEDS IN TRUST, DULY RECORDED AND DELIVERED TO SAID BANK IN PURSUANCE OF A TRUST AGREEMENT DATED THE 15TH DAY OF NOVEMBER, 1955 AND KNOWN AS TRUST NO. 18541, DATED 04/29/1957 AND RECORDED 05/01/1957 IN BOOK / PAGE : 878 / 65

PROPOSED LEASE AREA:

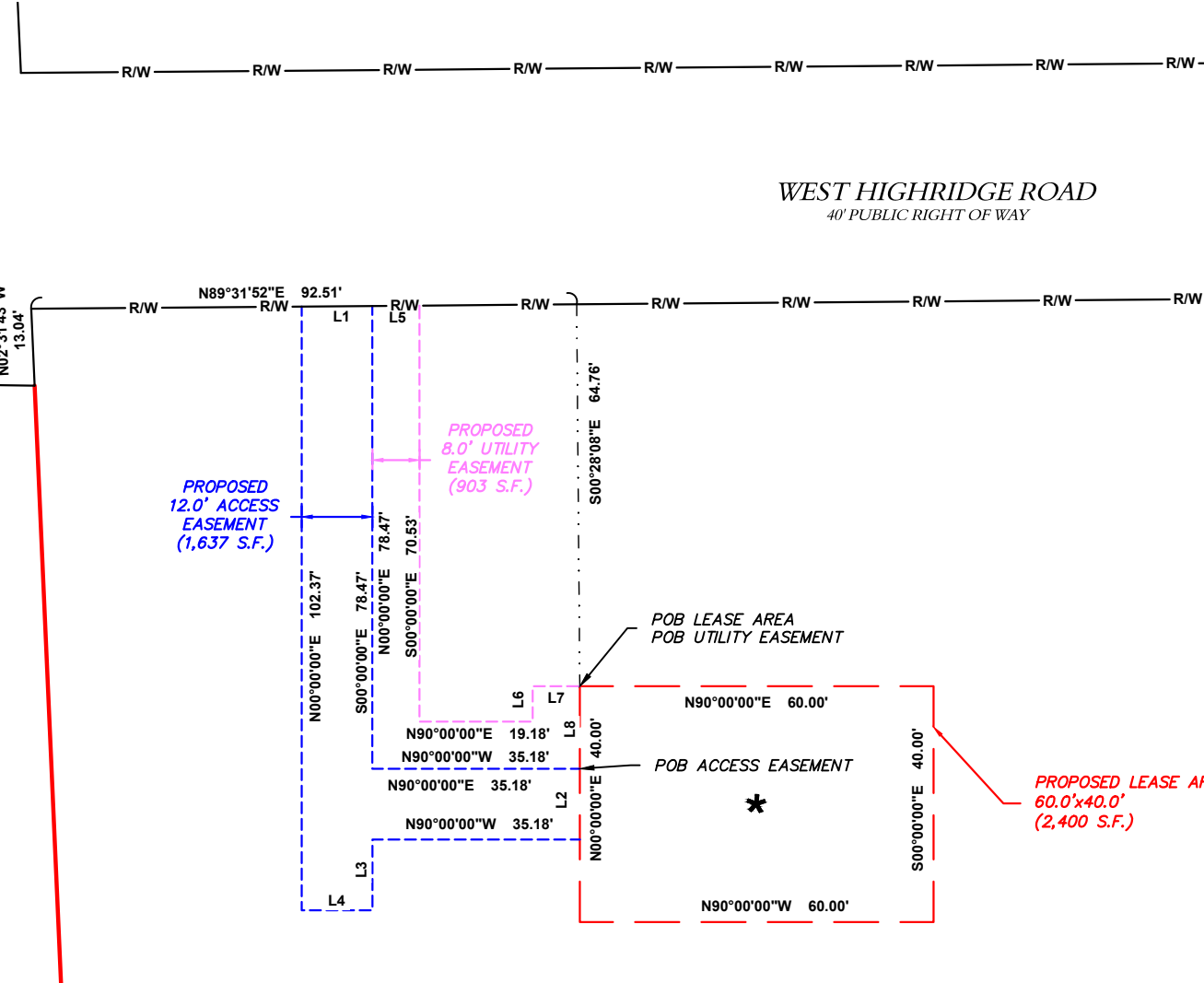
PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING FOR REFERENCE AT A CRIMPED IRON PIPE FOUND ON THE SOUTH RIGHT-OF-WAY LINE OF HIGH RIDGE ROAD AT THE NORTHEAST CORNER OF LOT 18 IN YORK TOWNSHIP SUPERVISORS' ASSESSMENT PLAT NO. 2 ALSO KNOWN A SWESTMORE LANDS; THENCE UPON THE SOUTH RIGHT-OF-WAY LINE OF SAID HIGH RIDGE ROAD, S 89°14'44" E, A DISTANCE OF 361.49 FEET TO THE NORTHEAST CORNER OF LOT 18 OF SAID PLAT; THENCE CONTINUING UPON SAID RIGHT-OF-WAY LINE, N 02°31'43" W, A DISTANCE OF 13.04 FEET; THENCE CONTINUING UPON SAID RIGHT-OF-WAY LINE, N 89°31'52" E, A DISTANCE OF 92.51 FEET; THENCE S 00°28'08" E, A DISTANCE OF 64.76 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND; FROM THE POINT OF BEGINNING, THENCE N 90°00'00" E, A DISTANCE OF 60.00 FEET; THENCE S 00°00'00" E, A DISTANCE OF 40.00 FEET; THENCE S 90°00'00" W, A DISTANCE OF 60.00 FEET; THENCE N 00°00'00" E, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 2400 SQUARE FEET OR 0.05 ACRES, MORE OR LESS.

PROPOSED ACCESS EASEMENT:

PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING FOR REFERENCE AT A CRIMPED IRON PIPE FOUND ON THE SOUTH RIGHT-OF-WAY LINE OF HIGH RIDGE ROAD AT THE NORTHEAST CORNER OF LOT 18 IN YORK TOWNSHIP SUPERVISORS' ASSESSMENT PLAT NO. 2 ALSO KNOWN A SWESTMORE LANDS; THENCE UPON THE SOUTH RIGHT-OF-WAY LINE OF SAID HIGH RIDGE ROAD, S 89°14'44" E, A DISTANCE OF 361.49 FEET TO THE NORTHEAST CORNER OF LOT 18 OF SAID PLAT; THENCE CONTINUING UPON SAID RIGHT-OF-WAY LINE, N 02°31'43" W, A DISTANCE OF 13.04 FEET; THENCE CONTINUING UPON SAID RIGHT-OF-WAY LINE, N 89°31'52" E, A DISTANCE OF 92.51 FEET; THENCE S 00°28'08" E, A DISTANCE OF 64.76 FEET; THENCE S 00°00'00" E, A DISTANCE OF 14.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED EASEMENT; FROM THE POINT OF BEGINNING, THENCE S 00°00'00" E, A DISTANCE OF 12.00 FEET; THENCE N 90°00'00" W, A DISTANCE OF 35.18 FEET; THENCE S 00°00'00" E, A DISTANCE OF 12.00 FEET; THENCE N 90°00'00" W, A DISTANCE OF 12.00 FEET; THENCE N 00°00'00" W, A DISTANCE OF 102.37 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF HIGH RIDGE ROAD; THENCE UPON SAID RIGHT-OF-WAY LINE, N 89°31'52" E, A DISTANCE OF 12.00 FEET; THENCE S 00°00'00" E, A DISTANCE OF 78.47 FEET; THENCE S 90°00'00" E, A DISTANCE OF 35.18 FEET TO THE POINT OF BEGINNING AND CONTAINING 1,410 SQUARE FEET OR 0.03 ACRES, MORE OR LESS.

PROPOSED UTILITY EASEMENT:

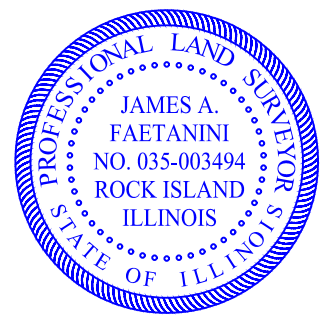
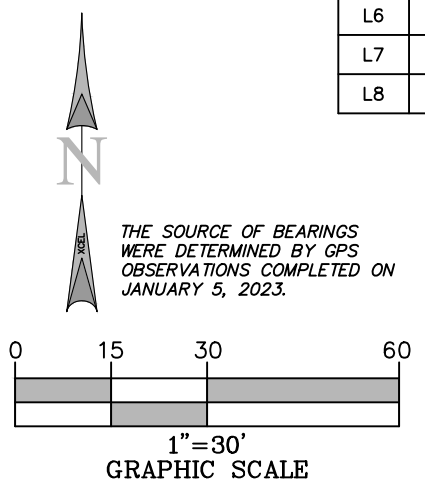
PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING FOR REFERENCE AT A CRIMPED IRON PIPE FOUND ON THE SOUTH RIGHT-OF-WAY LINE OF HIGH RIDGE ROAD AT THE NORTHEAST CORNER OF LOT 18 IN YORK TOWNSHIP SUPERVISORS' ASSESSMENT PLAT NO. 2 ALSO KNOWN A SWESTMORE LANDS; THENCE UPON THE SOUTH RIGHT-OF-WAY LINE OF SAID HIGH RIDGE ROAD, S 89°14'44" E, A DISTANCE OF 361.49 FEET TO THE NORTHEAST CORNER OF LOT 18 OF SAID PLAT; THENCE CONTINUING UPON SAID RIGHT-OF-WAY LINE, N 02°31'43" W, A DISTANCE OF 13.04 FEET; THENCE CONTINUING UPON SAID RIGHT-OF-WAY LINE, N 89°31'52" E, A DISTANCE OF 92.51 FEET; THENCE S 00°28'08" E, A DISTANCE OF 64.76 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED EASEMENT; FROM THE POINT OF BEGINNING, THENCE S 00°00'00" E, A DISTANCE OF 14.00 FEET; THENCE N 90°00'00" W, A DISTANCE OF 35.18 FEET; THENCE N 00°00'00" W, A DISTANCE OF 78.47 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF HIGH RIDGE ROAD; THENCE UPON SAID RIGHT-OF-WAY LINE, N 89°31'52" E, A DISTANCE OF 8.00 FEET; THENCE S 00°00'00" E, A DISTANCE OF 70.53 FEET; THENCE S 90°00'00" E, A DISTANCE OF 19.18 FEET; THENCE N 00°00'00" E, A DISTANCE OF 6.00 FEET; THENCE S 90°00'00" E, A DISTANCE OF 8.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 734 SQUARE FEET OR 0.02 ACRES, MORE OR LESS.



LINE TABLE		
LINE	LENGTH	BEARING
L1	12.00'	N89°31'52"E
L2	12.00'	S00°00'00"E
L3	12.00'	S00°00'00"E
L4	12.00'	N90°00'00"W
L5	8.00'	N89°31'52"E
L6	6.00'	N00°00'00"E
L7	8.00'	N90°00'00"E
L8	14.00'	S00°00'00"E

LEGEND

- PROPERTY LINE
- - - - - ACCESS EASEMENT
- - - - - UTILITY EASEMENT
- - - - - LEASE AREA
- R/W RIGHT OF WAY LINE
- * CENTERLINE OF TOWER LOCATION



I, JAMES A. FAETANANI, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREIN WERE CONDUCTED IN ACCORDANCE WITH THE ILLINOIS MINIMUM STANDARDS OF PRACTICE.

James A. Faetanani AUGUST 19, 2025

JAMES A. FAETANANI
LICENSE NUMBER 035-003494
MY LICENSE RENEWAL DATE IS NOVEMBER 30, 2026
SHEETS COVERED BY THIS SEAL B-1, B-1.1, B-1.2, AND B-1.3

PREPARED FOR:
WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

PREPARED FOR:

SURVEYED BY:

XCEL Consultants
8300 42ND STREET WEST
ROCK ISLAND, IL 61201
(O) 309-781-9988
(F) 309-756-5540
(E) XCEL@XCELCONSULTANTSINC.COM

XCEL PROJECT NUMBER: 224443

SITE SURVEY		
REV.	DATE	DESCRIPTION
A	2/28/23	ISSUED AS FINAL
B	8/19/25	MOVE ALL 20' SOUTH
C	8/19/25	REISSUED AS FINAL

SITE INFORMATION:
VILLA PARK
1250 S. ARDMORE AVENUE
VILLA PARK, IL 60181
DUPAGE COUNTY
TAX PARCEL NUMBER:
0616401054
PROPERTY OWNER:
SCHOOL DISTRICT 88
1250 S ARDMORE
VILLA PARK, IL 60181

SITE NUMBER:
IL0378
DRAWN BY: KJM
CHECKED BY: BCH
SURVEY DATE: 1/5/2023
PLAT DATE: 8/19/2025

SHEET TITLE:
SITE SURVEY
THIS DOES NOT REPRESENT A
BOUNDARY SURVEY OF THE
PARENT PARCEL

SHEET NUMBER:
B-1.3

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

NOTE:
FOR STORM WATER MANAGEMENT, EROSION, AND
GRADING DETAILS SEE SHEETS C-1, C-2, & C-3

TowerCo
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

RAMAKER
employees-owned
(608) 643-4100 www.ramaker.com

WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
I hereby certify that the design, or report was prepared by me or under my supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

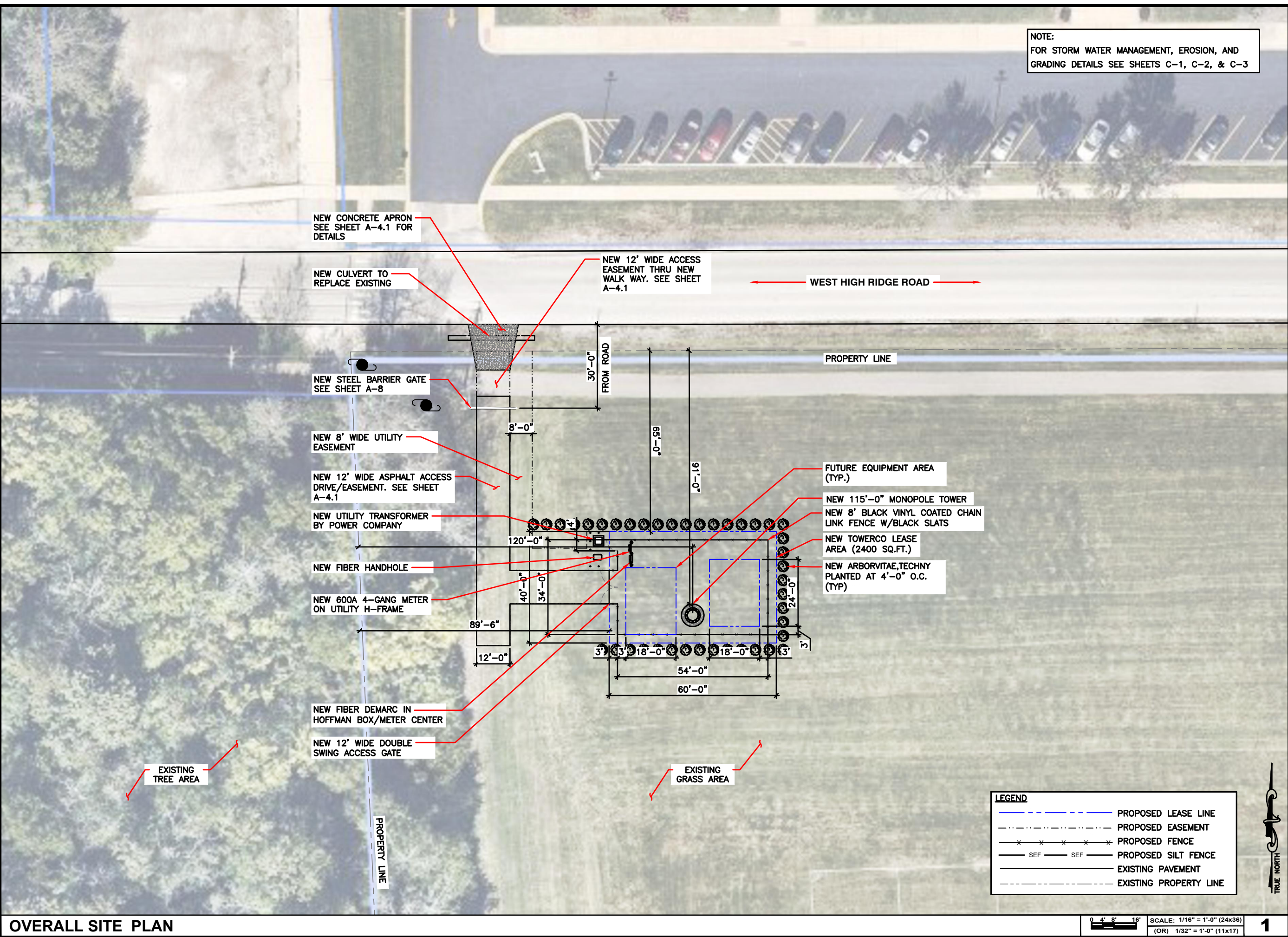
MICHAEL L. PINSKE
062-061932

STATE OF ILLINOIS
8/29/2025
Expiration: 11/30/25

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
A-1



LEGEND

	PROPOSED LEASE LINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	PROPOSED SILT FENCE
	EXISTING PAVEMENT
	EXISTING PROPERTY LINE

SCALE: 1/16" = 1'-0" (24x36)
(OR) 1/32" = 1'-0" (11x17)



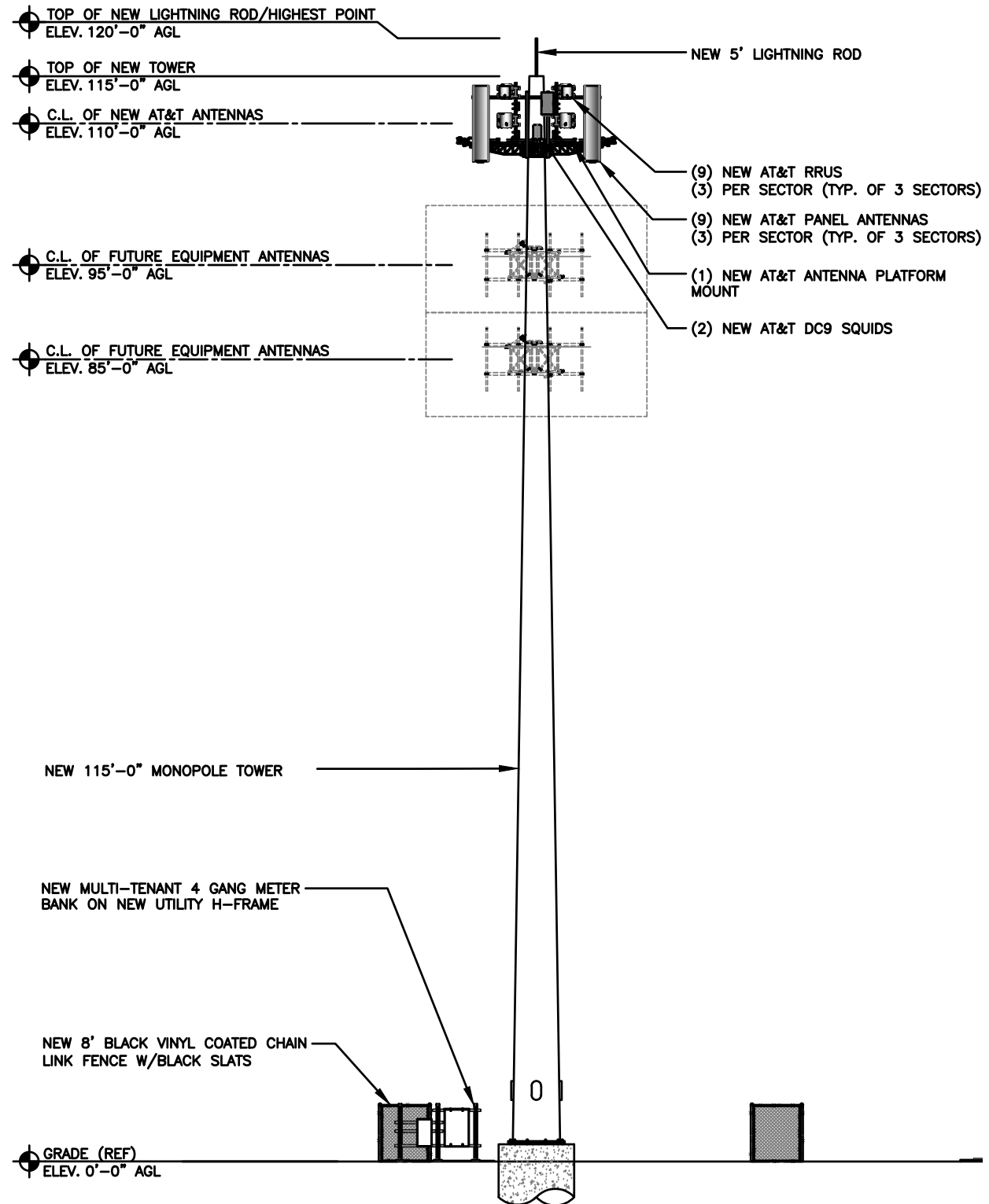
OVERALL SITE PLAN

1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

NOTE:
TOWER STRUCTURAL ANALYSIS AND DESIGN BY OTHERS
TOWER FOUNDATION ANALYSIS AND DESIGN BY OTHERS

NOTE:
GENERAL CONTRACTOR SHALL MAKE SURE
SAFETY CLIMB IS 100% FREE OF CABLES AND
MOUNTS AFTER INSTALL IS COMPLETE.



TowerCo
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

RAMAKER
employees-owned
(608) 643-4100 www.ramaker.com

WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
I hereby certify that the design, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
062-061932

STATE OF ILLINOIS
ENGINEER

Signature: *Michael L. Pinske* Date: 8/29/2025
Expiration: 11/30/25

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
ELEVATION

SHEET NUMBER
A-3

SOUTH ELEVATION

SCALE: 1/8" = 1'-0" (24x36)
(OR) 1/16" = 1'-0" (11x17)

1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION



TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
CONSTRUCTION
DETAILS

SHEET NUMBER
A-4

NOT USED

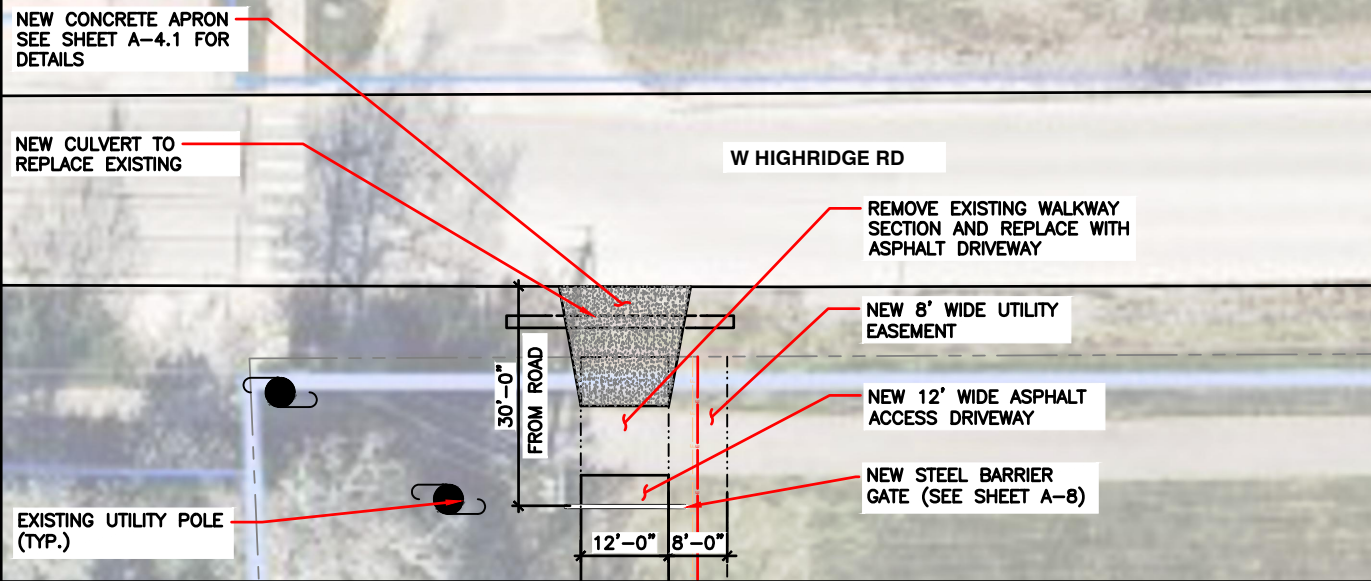
SCALE
N.T.S.

6

NOT USED

SCALE
N.T.S.

5



NOT USED

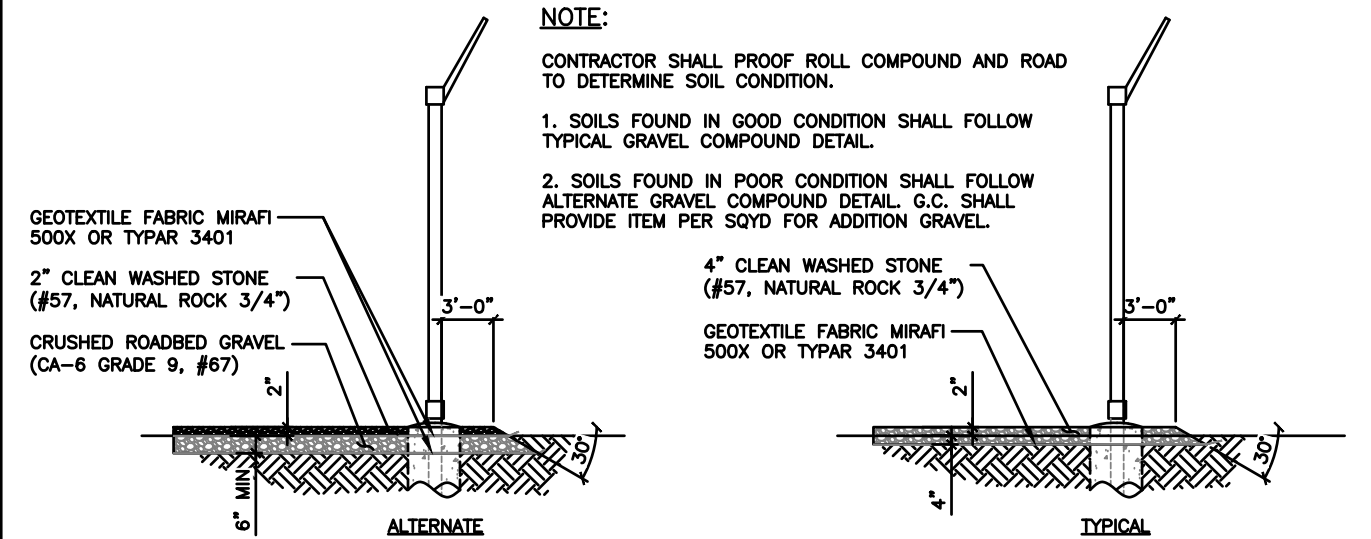
SCALE
N.T.S.

4

ACCESS DRIVEWAY @ STREET DETAIL

SCALE
N.T.S.

3



NOT USED

SCALE
N.T.S.

2

GRAVEL COMPOUND DETAIL

SCALE
N.T.S.

1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

DRAWN BY: JS
 CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
 I hereby certify that the design, or report was prepared by me or under my supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
 062-061932

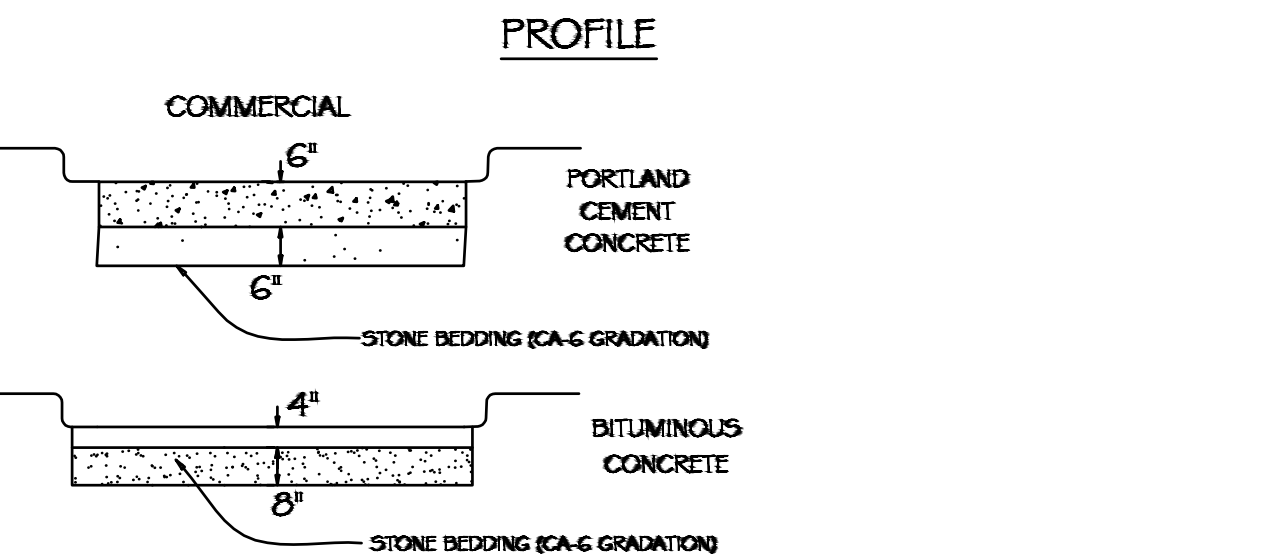
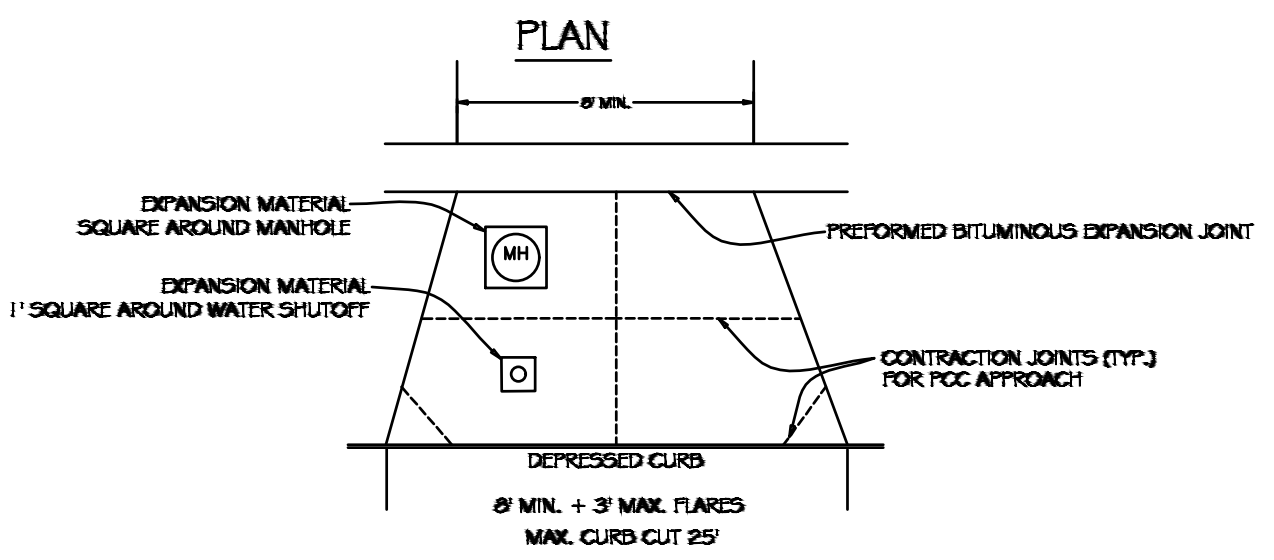
STATE OF ILLINOIS
 LICENSED PROFESSIONAL ENGINEER

Signature: [Signature] Date: 8/29/2025
 Expiration: 11/30/25

TOWERCO SITE ID: IL0378
 AT&T SITE# IL0378
 AT&T SITE NAME: VILLA PARK
 SITE ADDRESS:
 355 WEST HIGH RIDGE ROAD
 VILLA PARK, IL 60181

SHEET TITLE
**VILLA PARK
 DETAILS**

SHEET NUMBER
A-4.1

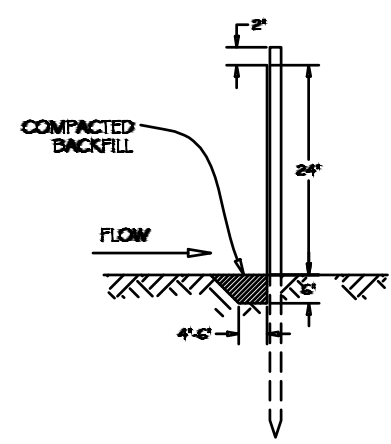
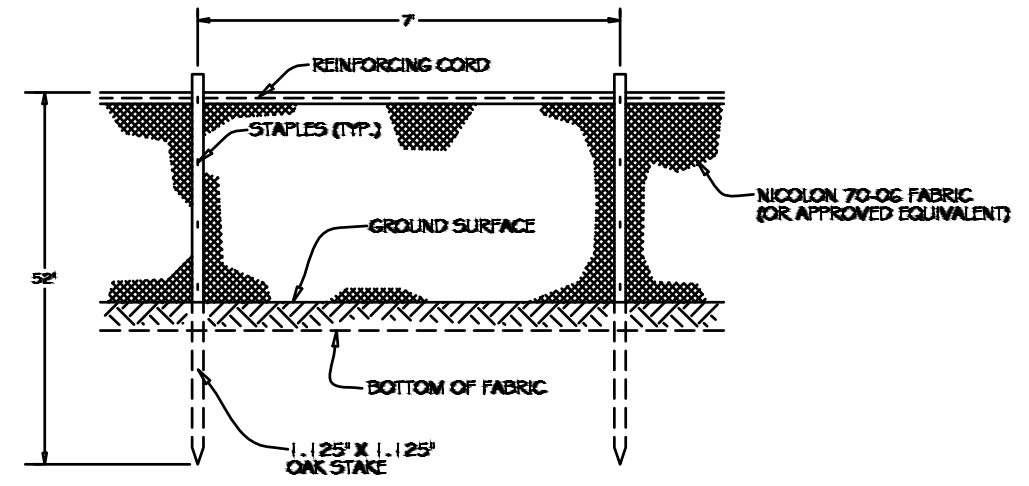


- GENERAL NOTES:**
- CURBING AND PROTECTION FOR IDOT SPECS AS APPROVED BY THE VILLAGE ENGINEER
 - ALL STONE BEDDING SHALL BE MECHANICALLY COMPACTED

TYPICAL DRIVEWAY APPROACH

VILLAGE OF VILLA PARK STREET - 03

NOT TO SCALE



GENERAL NOTES:

- SILT FENCE SHALL BE MAINTAINED UNTIL THE AREA TRIBUTARY TO THE STRUCTURE HAS STABILIZED GROUND COVER, AS DETERMINED BY THE VILLAGE ENGINEER.

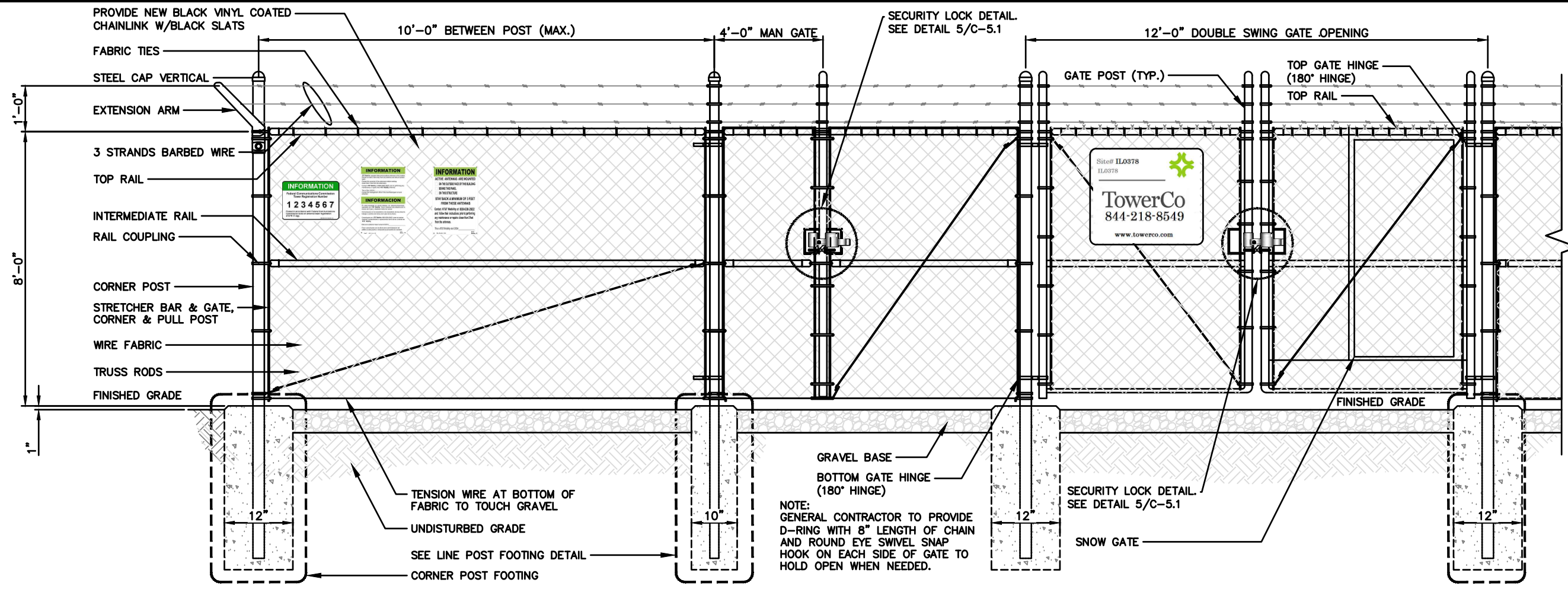
REV: RMS DATE: JUL 2004
 REV: RMS DATE: JUL 2004
 DRAWN BY: WV DATE: JAN 2003

SILT FENCE INSTALLATION

VILLAGE OF VILLA PARK ROAD - 11

NOT TO SCALE

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



INFORMATION
 1 2 3 4 5 6 7
 1234567

NOTE:
 GENERAL CONTRACTOR TO PROVIDE D-RING WITH 8" LENGTH OF CHAIN AND ROUND EYE SWIVEL SNAP HOOK ON EACH SIDE OF GATE TO HOLD OPEN WHEN NEEDED.

COMPOUND FENCING DETAIL

SCALE
 N.T.S. **2**

NOT USED

SCALE
 N.T.S. **1**

TowerCo
 5000 VALLEYSTONE DRIVE
 SUITE 200
 CARY, NC 27519

RAMAKER
 employees-owned
 (608) 643-4100 www.ramaker.com

WESTCHESTER SERVICES LLC
 604 FOX GLEN
 BARRINGTON, IL 60010
 TELEPHONE: 847.277.0070
 FAX : 847.277.0080
 ae@westchesterservices.com

DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
 I hereby certify that the design, or report was prepared by me or under my supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
 062-061932
 STATE OF ILLINOIS
 ENGINEER
 Signature: [Signature] Date: 8/29/2025
 Expiration: 11/30/25

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
FENCE
DETAILS

SHEET NUMBER
A-5

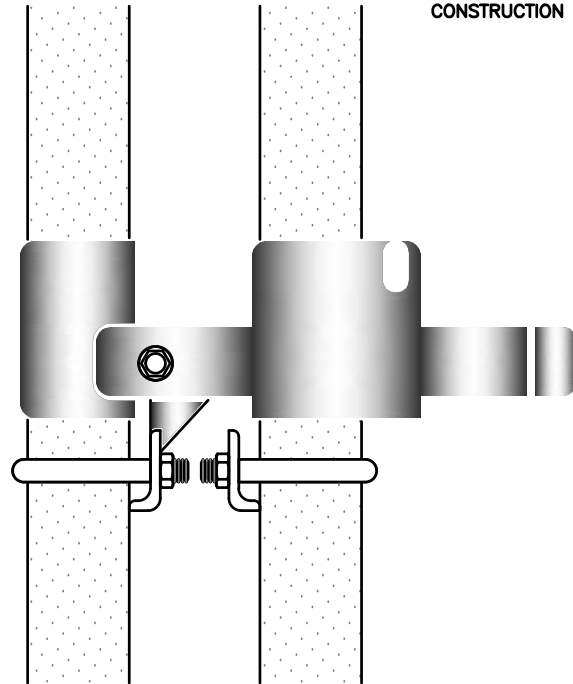
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

WOVEN WIRE FENCE NOTES:

(INSTALL FENCING PER ASTM F-567)
(SWING GATES PER ASTM F-900)

1. GATE POSTS, CORNER, TERMINAL OR PULL POSTS SHALL BE 2 7/8" DIA. SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POSTS: 2 3/8" DIA. SCHEDULE 40 PIPE PER ASTM-F1083
3. GATE FRAME: 1 1/2" DIA. SCHEDULE 40 PIPE PER ASTM-F1083
4. TOP RAIL AND BRACE RAIL: 1 1/4" SCHEDULE 40 PIPE PER ASTM-F1083
5. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1
6. TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL. INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS
7. TENSION WIRE: 7 GA. GALVANIZED STEEL
8. BARBED WIRE: 3 STRANDS OF DOUBLE STRAND 12-1/2 GAUGE TWISTED WIRE, 4 POINT BARBS SPACED ON APPROXIMATELY 5" CENTERS
9. LOCAL ORDINANCE FORR BARB WIRE PERMIT SHALL GOVERN INSTALLATION
10. HEIGHT = 6' VERTICAL + 1' BARBED WIRE VERTICAL DIMENSION
11. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS

NOTE:
GENERAL CONTRACTOR TO PROVIDE
(2) NEW LOCKS FOR MAIN GATE
AND MAN GATE. COORDINATE
COMBINATION WITH TOWERCO
CONSTRUCTION MANAGER.

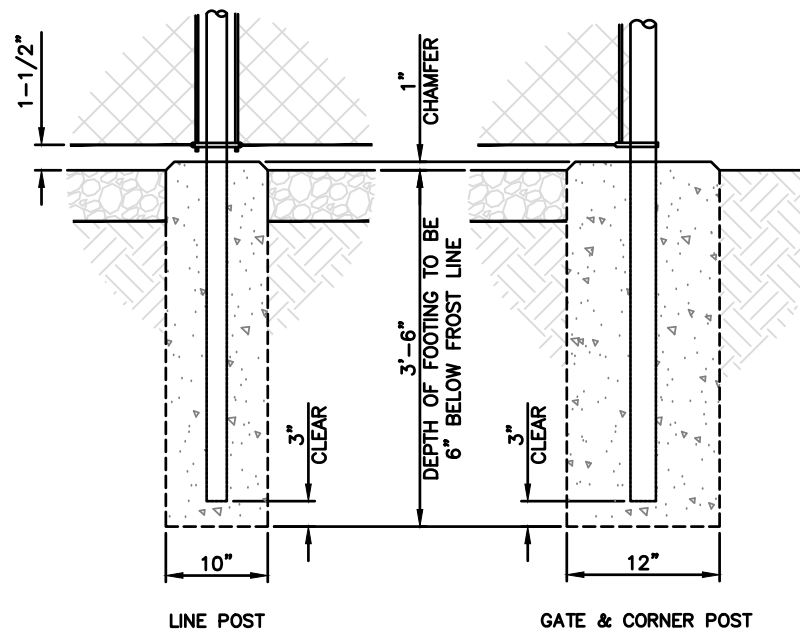


STRONGHOLD LATCH DETAIL

SCALE
N.T.S. **5**

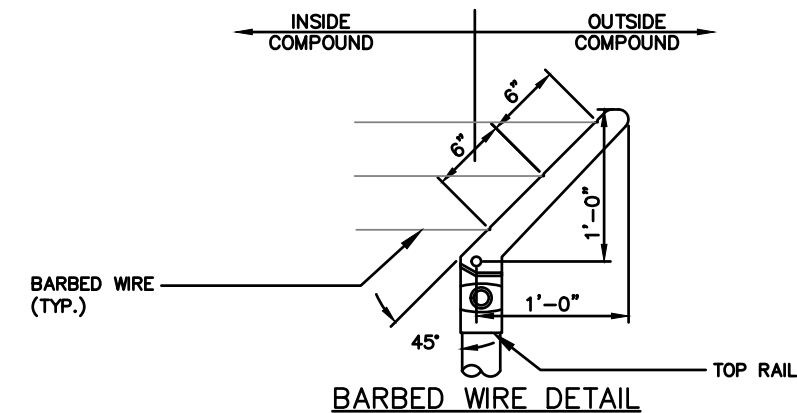
NOT USED

SCALE
N.T.S. **4**



POST FOOTING DETAIL

SCALE
N.T.S. **2**



DETAILS

SCALE
N.T.S. **1**

FENCING NOTES

SCALE
N.T.S. **3**

TowerCo
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

RAMAKER
employees-owned
(608) 643-4100 www.ramaker.com

WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

DRAWN BY: **JS**
CHECKED BY: **---**

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
I hereby certify that the design, preparation, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
062-061932

STATE OF ILLINOIS
Date: 8/29/2025
Signature: [Signature]
Expiration: 11/30/25

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
**FENCE
DETAILS**

SHEET NUMBER
A-5.1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

Site# IL0378
IL0378



TowerCo
844-218-8549

www.towerco.com

SIGNAGE NOTES:

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATING.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (FENCE) OR BRACKETS, WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ADDITIONAL E911 ADDRESS & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS THE COMPOUND GATE ITSELF.
4. SIGNS NEED NOT BE PLACED IF ACCURATE AND APPROPRIATE SIGNAGE ALREADY EXISTS.

INFORMATION

Federal Communications Commission
Tower Registration Number

1 2 3 4 5 6 7

Posted in accordance with Federal Communications Commission rules on antenna tower registration 47CFR 17.4(g).

WHITE TEXT
GREEN BACKGROUND
WHITE BACKGROUND
BLACK TEXT

8" 12"

WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2

INFORMATION

ACTIVE ANTENNAS ARE MOUNTED

- ON THE OUTSIDE FACE OF THIS BUILDING
- BEHIND THIS PANEL
- ON THIS STRUCTURE

STAY BACK A MINIMUM OF 3 FEET FROM THESE ANTENNAS

Contact AT&T Mobility at 800-638-2822 and follow their instructions prior to performing any maintenance or repairs closer than 3 feet from the antennas.

This is AT&T Mobility site USID# _____

BLACK TEXT
GREEN BACKGROUND
BLACK TEXT
WHITE BACKGROUND

8" 12"

WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



TowerCo
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519



RAMAKER
employees-owned
(808) 643-4100 www.ramaker.com



WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL

I hereby certify that the design, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
062-061932

STATE OF ILLINOIS

Signature: _____ Date: 8/29/2025
Expiration: 11/30/25

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK

SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
SITE SIGNAGE

SHEET NUMBER
A-6

TOWERCO SIGN

SCALE
N.T.S.

7

FCC REGISTRATION SIGN

SCALE
N.T.S.

6

RF EXPOSURE INFORMATION SIGN

SCALE
N.T.S.

5

INFORMATION

AT&T Mobility operates telecommunications antennas at this location. Remain at least 3 feet away from any antenna and obey all posted signs.

Contact the owner(s) of the antenna(s) before working closer than 3 feet from the antenna(s).

Contact AT&T Mobility at 800-638-2822 prior to performing any maintenance or repairs near AT&T Mobility antennas.

This is Site USID # _____
Contact the management office if this door/hatch/gate is found unlocked.

INFORMACION

En esta propiedad se ubican antenas de telecomunicaciones operadas por AT&T Mobility. Favor mantener una distancia de no menos de 3 pies y obedecer todos los avisos.

Comuníquese con el propietario o los propietarios de las antes de trabajar o caminar de menos de 3 pies de la antena.

Comuníquese con AT&T Mobility 800-638-2822 antes de realizar cualquier mantenimiento o reparaciones cerca de las antenas de AT&T Mobility.

Esta es la estación base numero USID # _____

Favor comunicarse con la oficina de la administración del edificio si esta puerta o compuerta se encuentra sin candado.

WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
MOUNTING LOCATION: GATE & BASE OF TOWER
QUANTITY: 2

BLACK TEXT
GREEN BACKGROUND
WHITE BACKGROUND

8" 12"

RF EXPOSURE INFORMATION SIGN

SCALE
N.T.S.

4

NOT USED

SCALE
N.T.S.

3

NOT USED

SCALE
N.T.S.

2

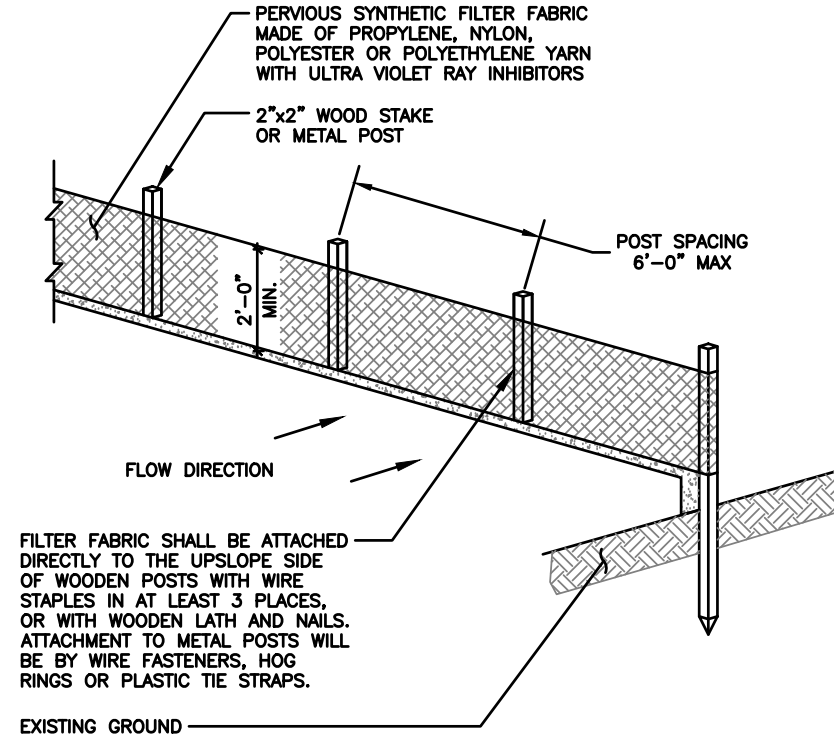
NOT USED

SCALE
N.T.S.

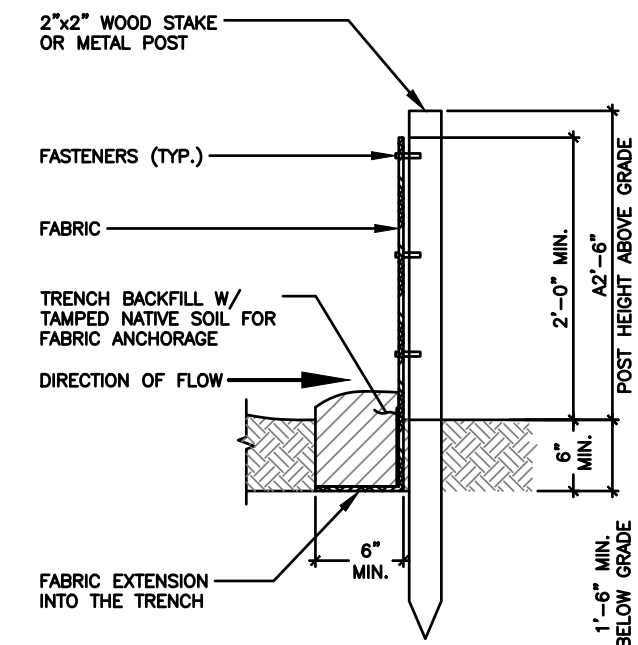
1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

1. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE APPLICABLE STATE ADOPTED "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" OF THE STATE ENVIRONMENTAL PROTECTION AGENCY.
2. A SOIL EROSION CONTROL FENCE SHALL BE INSTALLED BEFORE DISTURBING THE GROUND AND SHALL BE PROVIDED AS SHOWN ON THE PLAN. THE CONDITION OF THE FENCE SHALL BE INSPECTED REGULARLY AND AFTER EVERY RAINSTORM THAT MIGHT PRODUCE RUNOFF. DAMAGED OR DETERIORATED ITEMS SHALL BE REPLACED AND MAINTAINED IN AN EFFECTIVE CONDITION
3. SOIL EROSION CONTROL MEASURES SHALL BE INCLUDED IN CONTRACTOR BID AND PRICING
4. THE ENTIRE SITE SHALL BE GRADED SO THAT NO STORM WATER RUNOFF AND LIKEWISE SOIL SEDIMENT CAN FLOW UNRESTRICTED FROM THE SITE
5. ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT
6. MAINTAIN SOIL EROSION CONTROL MEASURES THROUGH THE DURATION OF THIS PROJECT
7. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN REACHING ONE HALF THE HEIGHT OF THE BARRIER
8. ALL SOIL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN PAVED OR VEGETATED
9. ANY EXCESS TOPSOIL THAT IS TO BE STOCKPILED FOR A PERIOD LONGER THAN 2 WEEKS SHALL BE PROTECTED BY EXCAVATING A TRENCH COMPLETELY AROUND THE STOCKPILE TO PREVENT THE ESCAPE OF SOIL MATERIAL THROUGH STORM WATER RUNOFF. STOCKPILES THAT ARE TO REMAIN LONGER THAN 14 DAYS SHALL BE SEEDED WITH AN APPROPRIATE GROUND COVER
10. TO PREVENT SOIL FROM LEAVING THE SITE ON CONSTRUCTION VEHICLE WHEELS, TEMPORARY GRAVEL ROADS AT WORK ENTRANCES SHALL BE CONSTRUCTED AND SHALL EXTEND INTO JOB SITE. THE EXISTING PAVEMENT SURFACES SHALL BE INSPECTED DAILY FOR SOIL DEBRIS AND SHALL BE CLEANED WHEN NECESSARY
11. REPLACE SOIL EROSION CONTROL MEASURES WITH SEED, SOD AND TOPSOIL AT THE COMPLETION OF THE PROJECT
12. SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN PROJECT IS COMPLETED



ISOMETRIC VIEW



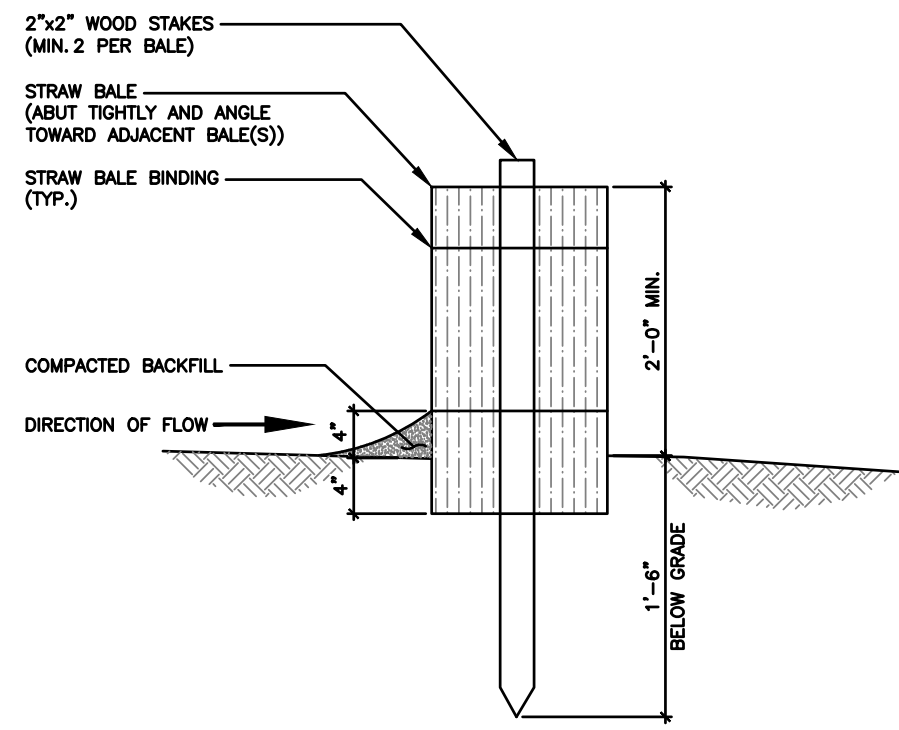
SECTION VIEW

SOIL EROSION & SEDIMENT CONTROL NOTES

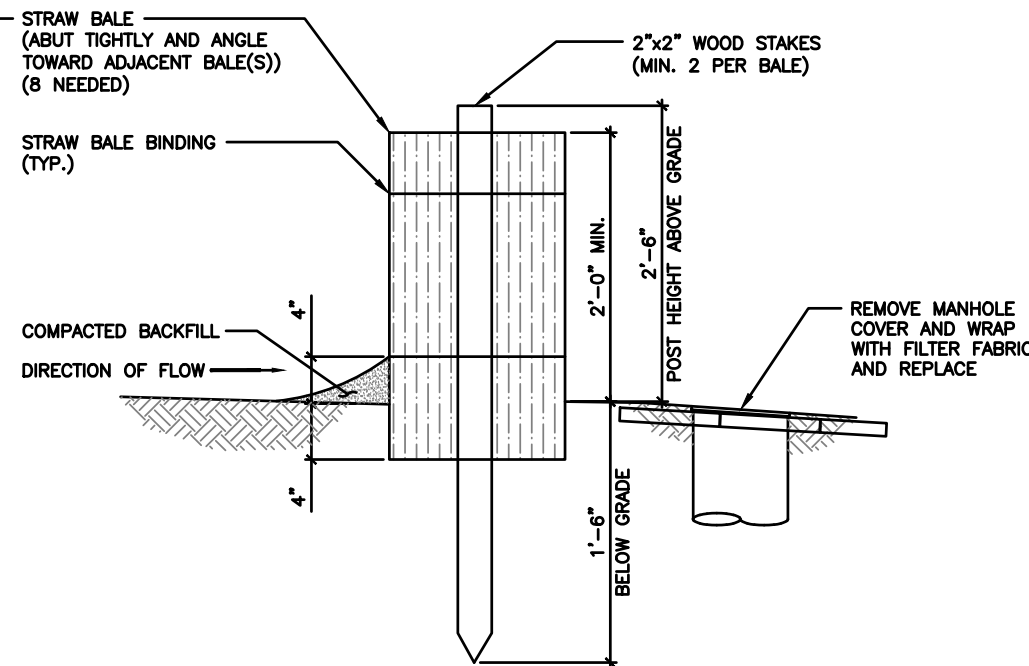
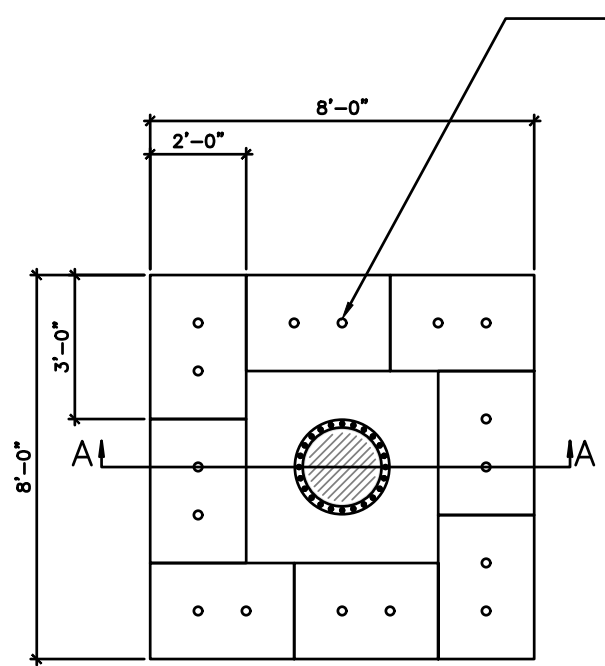
SCALE N.T.S. 4

EROSION CONTROL - SILT FENCE

SCALE N.T.S. 2



SECTION VIEW



SECTION VIEW A-A

EROSION CONTROL - STRAW BALE (OPTIONAL)

SCALE N.T.S. 3

EROSION CONTROL - STRAW BALE AT STORM INLET MANHOLE (IF NEEDED SEE PLANS)

SCALE N.T.S. 1

TowerCo
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

RAMAKER
employees-owned
(808) 643-4100 www.ramaker.com

WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
I hereby certify that the design, or report was prepared by me or under my supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
062-061932
STATE OF ILLINOIS
2/29/2025
Expiration: 11/30/25

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
EROSION CONTROL
DETAILS

SHEET NUMBER
A-7

**VILLA PARK EROSION CONTROL NOTES
(REV. 08/07/08):**

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED, SILT FENCE AROUND THE CONSTRUCTION LIMITS, STONE ACCESS DRIVE AND FILTER FABRIC PROTECTORS IN ALL STORM MANHOLES AND/OR INLETS PER THE VILLAGE'S STANDARD DETAILS. IF THERE IS NO GENERAL CONTRACTOR, IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION/GRADING CONTRACTOR TO INSTALL ALL SOIL EROSION CONTROL DEVICES.
2. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL DEVICES SHALL MAKE AN INSPECTION OF THE INSTALLATION ON A WEEKLY BASIS OR FOLLOWING A RAINFALL OF 1/2-INCH OR MORE OVER A 24-HOUR PERIOD. A RECORD OF SUCH INSPECTIONS SHALL BE KEPT ONSITE AT ALL TIMES UNTIL FINAL ACCEPTANCE OF THE WORK.
4. ANY SOIL EROSION CONTROL MEASURES THAT ARE DEEMED NECESSARY BY THE VILLAGE ENGINEER OR ANY OTHER AUTHORITY HAVING JURISDICTION SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR.
5. ALL SILT FENCE SHALL BE INSTALLED AND APPROVED BY THE VILLAGE OF VILLA PARK PRIOR TO CONSTRUCTION.
6. ALL CONSTRUCTION SITES SHALL HAVE A 10-FOOT WIDE X 6-INCHES DEEP STONE ACCESS DRIVE COMPRISED OF CA-1 STONE. THE LENGTH SHALL BE A MINIMUM OF 50 FEET UNLESS OTHERWISE APPROVED BY THE VILLAGE ENGINEER. ALL ACCESS TO AND FROM THE SITE SHALL BE RESTRICTED TO THIS CONSTRUCTION ENTRANCE.
7. PUMPING SEDIMENT-LADEN WATER INTO ANY STORMWATER FACILITY EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED. WATER REMOVED FROM TRAPS, BASINS AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
8. MODIFICATIONS TO EXISTING STORMWATER FACILITIES SHALL BE STABILIZED WITHIN 48 HOURS.
9. ALL STORM DRAIN INLETS SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE WHEN THE AREA TRIBUTARY TO AN INLET IS DISTURBED.
10. ALL TRENCHES, HOLES OR OTHER EXCAVATIONS REQUIRED FOR UTILITY INSTALLATION SHOULD BE BACK-FILLED AND STABILIZED AT THE END OF EACH WORKING DAY. NO EXCAVATION SHOULD BE OPENED MORE THAN WHAT CAN BE STABILIZED BY THE END OF THE SAME DAY. IF AN EXCAVATION MUST BE LEFT UNSTABILIZED OR OPENED OVERNIGHT, SOIL EROSION AND SAFETY PROTECTION MEASURES SHALL BE INSTALLED.
11. THE SURFACE OF STRIPPED OR DISTURBED AREAS SHALL BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED OR WHEN LEFT IDLE FOR MORE THAN 7 DAYS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN ADEQUATELY ESTABLISHED.
12. ALL SPECIAL MANAGEMENT AREAS SHALL, AT A MINIMUM, HAVE A DUAL SILT FENCE BARRIER OF PROTECTION. ADDITIONAL SOIL AND SEDIMENT EROSION CONTROL MEASURES MAY BE REQUIRED TO ADEQUATELY PROTECT THESE AREAS.
13. STOCKPILES OF SOIL OR ANY OTHER BUILDING MATERIAL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
14. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
15. ALL WASTE GENERATED AS A RESULT OF SITE

DEVELOPMENT (INCLUDING DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, SANITARY WASTE OR ANY OTHER WASTE) SHALL BE PROPERLY DISPOSED OF AND BE PREVENTED FROM BEING CARRIED OFF THE SITE BY EITHER WIND OR WATER.

16. ANY SOIL, MUD OR DEBRIS REACHING A PUBLIC OR PRIVATE ROADWAY OR SIDEWALK SHALL BE REMOVED IMMEDIATELY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
17. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30- DAYS AFTER FINAL STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF, AND THE AREA PERMANENTLY STABILIZED.

**VILLAGE OF VILLA PARK STANDARD ENGINEERING NOTES
(REV. 05/02/2008):**

1. THE PUBLIC WORKS DEPARTMENT, (630) 834-8505, MUST BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE FOR INSPECTIONS AND SHUTOFFS AND FORTY-EIGHT (48) HOURS IN ADVANCE FOR WATER TAPS.
2. ONE (1) SET OF APPROVED PLANS MUST BE ON THE SITE AT ALL TIMES.
3. ALL PAVING, CURB & GUTTER, DRIVEWAYS, AND SIDEWALKS, INCLUDING EARTHWORK REQUIRED FOR PREPARATION OF SUB-GRADE, WILL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION AND SUPPLEMENTS, EXCEPT AS MODIFIED TO CONFORM WITH VILLAGE OF VILLA PARK REQUIREMENTS.
4. TRENCHES UNDER AND WITHIN THREE FEET (3') OF PAVEMENT (STREETS, DRIVEWAYS, CURB & GUTTER, AND SIDEWALKS) WILL BE BACKFILLED WITH GRANULAR TRENCH BACKFILL CONFORMING TO A GRADATION OF CA-6/GRADE 8. GRANULAR TRENCH BACKFILL WILL BE MECHANICALLY COMPACTED IN LAYERS OF 12" MAXIMUM, LOOSE MEASURE, TO 95% OF STANDARD DENSITY (ASTM D698).
5. ALL EXISTING PAVEMENT TO BE REMOVED WILL BE SAW CUT FULL DEPTH ALONG THE LIMITS OF THE REMOVAL.
6. REPLACEMENT OF THE STREET PAVEMENT SUBSEQUENT TO THE INSTALLATION OF UTILITIES WILL MEET IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ARTICLE 442.06, AND BE MADE AS FOLLOWS:
A. ASPHALT - 2" HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50, OVER A 4" HOT-MIX ASPHALT BINDER COURSE, N50, OR TO VILLAGE ENGINEER'S SPECIFICATIONS.
B. P.C.C. - 8" MINIMUM THICKNESS, TIE INTO THE EXISTING PAVEMENT WITH #6 X 24" DOWELS, EMBEDDED 8" AND STAGGERED AT 24" O.C.
7. ALL PAVEMENTS WILL BE REPLACED WITHIN ONE WEEK OF THEIR REMOVAL.
8. ALL SIDEWALKS WILL MEET EXISTING WIDTHS WITH A MINIMUM THICKNESS OF FOUR INCHES (4") EXCEPT AT ANY EXISTING OR PROPOSED DRIVEWAY(S) THE THICKNESS WILL BE SIX INCHES (6"). BEDDING WILL BE A MINIMUM OF 4" OF CA-6/GRADE 8. ALL EXISTING SIDEWALKS AND CURB AND GUTTER SECTIONS MUST BE REPLACED UNLESS WAIVED BY THE VILLAGE ENGINEER.

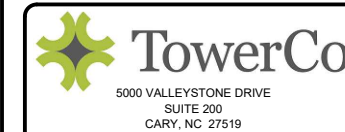
9. ALL DRIVEWAYS WILL BE REPLACED AS FOLLOWS:

- RESIDENTIAL:**
HOT-MIX ASPHALT 4" SURFACE COURSE
6" CA-6, GRADE 8 STONE
PORTLAND CEMENT CONCRETE 6" CLASS SI
4" CA-6, GRADE 8 STONE
- COMMERCIAL:**
HOT-MIX ASPHALT 6" SURFACE COURSE
8" CA-6, GRADE 8 STONE
PORTLAND CEMENT CONCRETE 8" CLASS SI
6" CA-6, GRADE 8 STONE

ALL MANHOLES AND BUFFALO BOXES WITHIN A PCC DRIVEWAY MUST BE BOXED OUT WITH 1" EXPANSION MATERIAL.

10. ALL PARKWAYS DISTURBED DURING CONSTRUCTION WILL BE RESTORED WITH FOUR INCHES (4") OF TOPSOIL AND SALT-TOLERANT SOD.
11. ALL PARKWAYS AND NEARBY TREES ON ADJOINING PROPERTY WILL HAVE GUARDS TO PROTECT TREES. A MINIMUM OF FOUR (4) STAKES SHALL BE USED AND THE FENCE SHALL BE FOUR (4) FEET FROM THE TRUNK OF THE TREE.
12. ALL STUMPS MUST BE REMOVED TO A MINIMUM OF ONE FOOT BELOW PROPOSED GROUND ELEVATION.
13. MATERIALS AND INSTALLATION FOR ALL WATER AND SEWER RELATED WORK WILL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," CURRENT EDITION AND THE AMERICAN WATER WORKS ASSOCIATION EXCEPT AS MODIFIED TO CONFORM WITH VILLA PARK REQUIREMENTS.
14. ALL WATER MAIN SHUTDOWNS WILL BE PERFORMED BY VILLAGE PERSONNEL ONLY. A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE WILL BE GIVEN TO THE PUBLIC WORKS DEPARTMENT PRIOR TO REQUESTED SHUTDOWN.
15. EXISTING WATER AND SANITARY SEWER SERVICES WILL NOT BE REUSED WITHOUT A WRITTEN APPROVAL FROM THE WATER/WASTEWATER SUPERINTENDENT.
16. BAND-SEAL FLEXIBLE CONNECTORS (NON-SHEAR MISSION COUPLINGS) WILL BE USED TO JOIN PIPES OF DISSIMILAR MATERIALS.
17. ALL PVC PIPE JOINTS WILL CONFORM TO ASTM D 3212 AND SHALL BE SEALED BY RUBBER GASKETS CONFORMING TO ASTM F 477.
18. DOWN SPOUTS AND SUMP PUMPS WILL DISCHARGE AT GRADE AND BE DIRECTED AWAY FROM AND AT LEAST TEN FEET (10') FROM ADJACENT PROPERTIES
19. PROVIDE FOR THE IMMEDIATE REMOVAL OF ANY MUD AND DEBRIS THAT IS DEPOSITED ONTO THE STREETS AND SIDEWALKS, WHICH WERE CAUSED BY THE CONSTRUCTION.
20. ANY SOIL EROSION CONTROL MEASURES THAT ARE DEEMED NECESSARY BY THE VILLAGE ENGINEER WILL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR.
21. ALL FOOTING AND TOP OF FOUNDATION ELEVATIONS, AND BUILDING SETBACKS AND DIMENSIONS MUST BE SURVEYED AND A SPOT SURVEY MUST BE SUBMITTED AND APPROVED PRIOR TO ANY FUTURE CONSTRUCTION.
22. ALL CONCRETE CURBS, SIDEWALK AND DRIVEWAY APRONS REQUIRE PRE-INSPECTION.
23. ALL CONSTRUCTION SITES WILL REQUIRE A STONE ACCESS ROAD 10 FEET WIDE WITH A 6" DEPTH COMPRISING OF CA-1 STONE.
24. ANY ACTIVITY THAT DISTURBS THE PAVEMENT, VEGETATION OR SOIL REQUIRES A DUPAGE COUNTY STORMWATER PERMIT.
25. AN RPZ VALVE IS REQUIRED FOR DEVELOPMENT OTHER THAN SINGLE FAMILY RESIDENTIAL, UNLESS A WRITTEN WAIVER IS OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

26. RESIDENTIAL DUAL CHECK VALVE BACKFLOW PREVENTOR (SERIES 7) IS REQUIRED IF A PRIVATE WELL IS LOCATED ON THE PREMISES AND IS NOT CAPPED BE A CERTIFIED WELL CONTRACTOR.
27. ALL EXISTING GRADES ALONG PROPERTY LINES MUST BE MAINTAINED.
28. PROPOSED GRADE CHANGES WILL NOT CAUSE SURFACE WATER RUNOFF TO BE DIVERTED ONTO OR DETAINED ON ABUTTING OR NEARBY PROPERTY, WILL NOT SIGNIFICANTLY ALTER EXISTING DRAINAGE PATTERNS AND WILL NOT INCREASE OR CONCENTRATE STORM WATER RUNOFF ONTO ABUTTING OR NEARBY PROPERTY.
29. DOWNSPOUT DRAINAGE MUST DISCHARGE AT GRADE AND MUST NOT DRAIN ONTO OR TOWARD ADJACENT PROPERTIES. INDICATE ON THE PLANS THE PROPOSED DOWNSPOUT LOCATIONS AND THEIR DIRECTION OF DRAINAGE.
30. DRAINAGE SWALES MUST HAVE SUFFICIENT DEPTH AND WIDTH TO DIRECT STORM WATER RUNOFF TOWARD A STORM DRAINAGE SYSTEM. SWALES MUST MEET EXISTING GRADES AT THE PROPERTY LINES AND HAVE A MINIMUM SLOPE OF 1%. DAMMING OR DISPLACING WATER ONTO ADJACENT PROPERTIES IS NOT PERMITTED.
31. PROPOSED DRIVEWAY MUST MEET EXISTING GRADES ALONG THE PROPERTY LINE AND THEN SLOPE 1/8" TO 1/4" PER FOOT AWAY FROM THE PROPERTY LINE AND TOWARD THE CENTER OF THE DRIVEWAY IN ORDER TO KEEP WATER RUNOFF ON SITE AND PREVENT RUNOFF TOWARDS ADJACENT PROPERTIES. INCLUDE DETAILS ON THE DRIVEWAY AND THE PROPERTY LINE (SPOT ELEVATIONS AT PROPERTY LINE, CENTERLINE AND AT GARAGE SLAB). IF INSTALLING CURB ALONG THE DRIVEWAY MAKE SURE IT WILL NOT DAM WATER ON ADJACENT PROPERTIES. SHOW TOP OF CURB ELEVATIONS AND GRADES ON ADJOINING PROPERTY.
32. LANDSCAPING THAT EFFECTIVELY CHANGES YARD ELEVATIONS OR EXISTING DRAINAGE PATTERNS WILL NOT BE PERMITTED UNLESS A FILL PERMIT IS ISSUED BY THE VILLAGE.



DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION



TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
VILLA PARK NOTES

SHEET NUMBER
A-9

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



DUPAGE COUNTY STORMWATER MANAGEMENT CERTIFICATION APPLICATION (1/2)

1. Community and Status <input type="checkbox"/> Non <input type="checkbox"/> Partial <input type="checkbox"/> Complete	2. Date of Application	3. Stormwater Application No. (to be assigned by community)	4. DuPage County Tracking No.												
5. Applicant: Name: <u>DWAYNE LYERLY</u> Company Name: <u>TOWERCO</u> Address: <u>5000 VALLEYSTONE DR</u> City, ST, Zip: <u>CARY, NC</u> Phone: _____ Email: _____		6. Owner: Name: _____ Company Name: _____ Address: _____ City, ST, Zip: _____ Phone: _____ Email: _____													
7. Description of Proposed Development: <u>Proposed cell tower pad site.</u>															
8. Location of Development: Address: <u>355 West HighRidge Rd.</u> Municipality: <u>Villa Park</u> Watershed Planning Area & Trib: <u>Salt Creek</u>		9. Legal Description <table border="1"> <tr><td>SW</td><td>39N</td><td>11E</td></tr> <tr><td>N Section</td><td>Township</td><td>Range</td></tr> <tr><td>PIN <u>06</u> - <u>16</u> - <u>401</u> - <u>054</u></td><td></td><td></td></tr> <tr><td>PIN _____</td><td></td><td></td></tr> </table>		SW	39N	11E	N Section	Township	Range	PIN <u>06</u> - <u>16</u> - <u>401</u> - <u>054</u>			PIN _____		
SW	39N	11E													
N Section	Township	Range													
PIN <u>06</u> - <u>16</u> - <u>401</u> - <u>054</u>															
PIN _____															
10. Check all of the conditions which apply: <input type="checkbox"/> Flood Plain <input type="checkbox"/> Stormwater Detention <input type="checkbox"/> Best Management Practices <input checked="" type="checkbox"/> Soil Erosion & Sediment Control <input type="checkbox"/> Wetland <input type="checkbox"/> Wetland Buffer <input type="checkbox"/> Riparian Buffer															
11. Acknowledgement of On-Site Infiltration PCBMPs I acknowledge that I have used my best effort to identify zones for which on-site infiltration are prohibited for Post Construction Best Management Practices (PCBMPs) in accordance with the Ordinance (15-83.B) Signature of Applicant _____ Print Name _____ Date _____															
12. Freedom of Information Act (FOIA) I acknowledge that all architects' drawings, engineers' technical submissions and other construction-related technical documents containing stormwater management information submitted with this application may be made available for inspection or copying by the County, notwithstanding 5 ILCS 140/7(1)(k), upon the written request for such materials. Such productions will be restricted to the following parties: i) the Applicant ii) any subsequent owner of the subject property; or iii) any governmental unit having planning or drainage jurisdiction within 1 and 1/2 mile of the subject property. Signature of Applicant _____ Print Name _____ Date _____ Signature of Owner _____ Print Name _____ Date _____															
13. Statement of Opinion for Minimum Criteria for Stormwater Management I am a Professional Engineer under the employment of the Applicant. It is my professional opinion that the development meets the minimum criteria for stormwater management in accordance with the Ordinance (15-36) <u>Bernie Bono</u> <u>Bernie Bono</u> <u>11/15/25</u> Signature of Professional Engineer Print Name Date															

____ Community Copy ____ DuPage County SM Copy ____ Applicant Copy Page 1 of 2



DUPAGE COUNTY STORMWATER MANAGEMENT CERTIFICATION APPLICATION (2/2)

Community Tracking No: _____	DuPage County Tracking No: _____
14. Statement of Opinion for Presence of Flood Plain, Wetlands, and Buffers (15-47-A.5) <input type="checkbox"/> I acknowledge the presence of flood plain. <input type="checkbox"/> I acknowledge the presence of wetlands. <input type="checkbox"/> I acknowledge the presence of buffers. <input checked="" type="checkbox"/> I deny the presence of flood plain. <input type="checkbox"/> I deny the presence of wetlands. <input type="checkbox"/> I deny the presence of buffers. Signature of Qualified Professional <u>Bernie Bono</u> Date <u>11/15/25</u> Signature of Qualified Professional _____ Date _____ Signature of Qualified Professional _____ Date _____ Printed Name Printed Name Printed Name	
15. Soil Erosion & Sediment Control Submittal Requirements (15-50.B) (For developments with less than 1 acre of land disturbance that are not part of a larger common plan) I certify that the development meets the soil erosion and sediment control design criteria found in Article VII have been met. <u>Bernie Bono</u> <u>Bernie Bono</u> <u>11/15/25</u> Signature of Qualified Designer Print Name Date	
16. Soil Erosion & Sediment Control Requirements (15-59.W) (For developments with land disturbing activities greater than 1 acre) I acknowledge that the site complies with the IEPA NPDES ILR10 Permit. Signature of Applicant _____ Print Name _____ Date _____	
17. Acknowledgement of Required As-Built Plans (15-47.B) I acknowledge that a record drawing signed by either a Professional Engineer or a Professional Land Surveyor depicting the as-constructed size, rim, and invert elevations of pipes, stormwater structures and culverts, and contours and flood storage volumes of all required basins of the major stormwater systems and minor stormwater systems shall be submitted for review and approval upon completion of the stormwater facilities. Signature of Owner _____ Print Name _____ Date _____	
18. Intentional Misrepresentation Under Penalty of Perjury I declare that I have examined and/or made this application and rider, and it is true and correct to the best of my knowledge and belief. I realize that the information that I have affirmed hereon forms a basis for the issuance of the stormwater management certification(s) herein applied for and approval of plans in connection therewith shall not be construed to permit any construction upon said premises or use thereof in violation of any provision of any applicable ordinance or to excuse the owner or his successors in title from complying therewith. The Owner and Applicant each understand and agree to construct said improvement in compliance with all provisions of the applicable ordinances. Signature of Applicant _____ Print Name _____ Date _____ Signature of Owner _____ Print Name _____ Date _____	
DO NOT WRITE BELOW THIS LINE	
19. Security (15-54) Stormwater Facilities \$ _____ Wetlands/Natural Area \$ _____ SEISC \$ _____ Total \$ _____	20. Stormwater Fees Community Review \$ _____ DCSM Review \$ _____ Fee-In-Lieu \$ _____ \$ _____ Welland BMP
Seal/Stamp Certifications expire December 31 st of the third year of Certification or Authorization, whichever is earlier. <u>Michael L. Pinske</u> <u>11/30/25</u> Signature Date Expiration: 11/30/25	
21. Final Approvals (See Certification letter for special conditions and general conditions.) Community Certification Date _____ Approved by/Title _____ County Authorization Date _____ Approved by/Title _____	

____ Community Copy ____ DuPage County SM Copy ____ Applicant Copy Page 2 of 2

5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

employees-owned
(808) 643-4100 www.ramaker.com

604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ac@westchesterservices.com

DRAWN BY: JS
CHECKED BY: _____

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK

SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
DUPAGE COUNTY
STORMWATER MANAGEMENT
CERTIFICATE

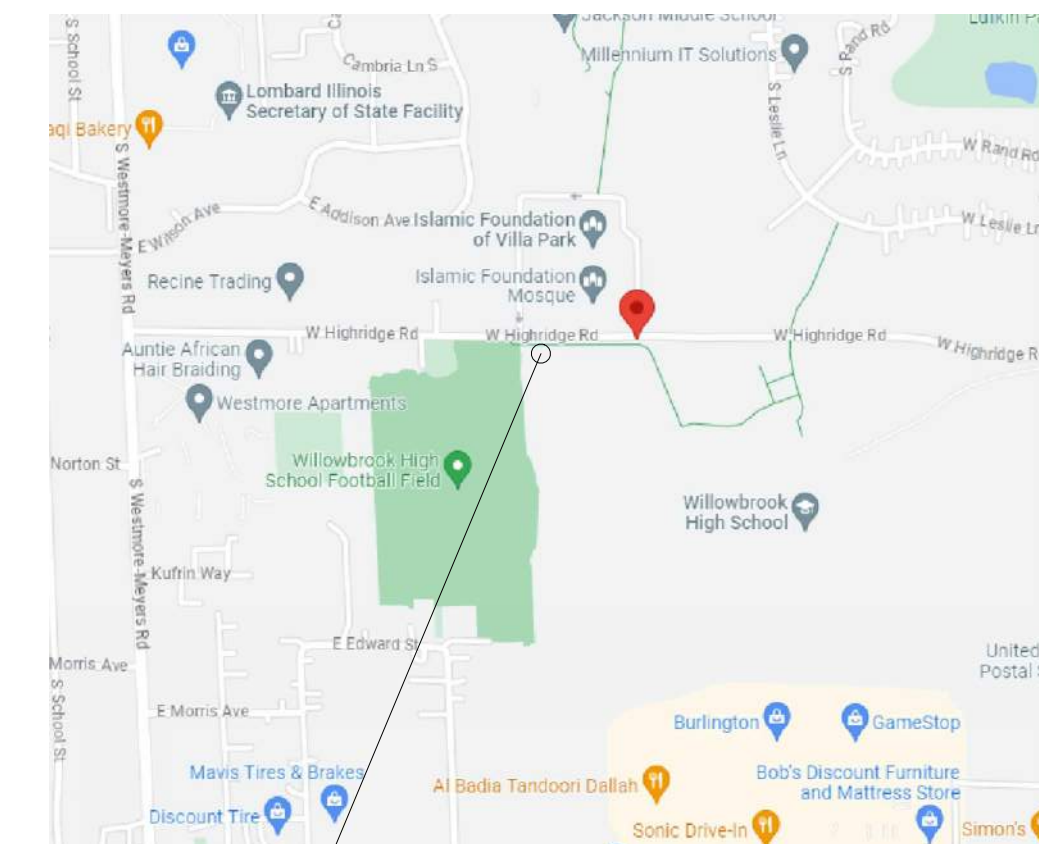
SHEET NUMBER
A-10

PROPOSED TOWER SITE

355 WEST HIGH RIDGE ROAD, VILLA PARK, IL 60181

LOCATION MAP

NOT TO SCALE



SITE

AERIAL MAP

NOT TO SCALE



TOPOGRAPHIC SURVEY

BY:
BONO CONSULTING CIVIL ENGINEERS
 1018 BUSSE HIGHWAY, PARK RIDGE, ILLINOIS 60068
 (847) 823-3300
 E-mail: BBono@BonoConsulting.com

PROPERTY OWNER
 INFORMATION:
 SCHOOL DISTRICT 88
 1250S ARDMORE
 VILLA PARK, IL 60181

VILLAGE OF VILLA PARK EROSION CONTROL NOTES

(Revised 8/7/08)

- The General Contractor shall be responsible for the installation of all erosion control devices including, but not limited, silt fence around the construction limits, stone access drive and filter fabric protectors in all storm manholes and/or inlets per the Village's standard details. If there is no General Contractor, it shall be the responsibility of the excavation/grading contractor to install all soil erosion control devices.
- All erosion control measures shall be maintained throughout construction.
- The Contractor responsible for the installation of the erosion control devices shall make an inspection of the installation on a weekly basis or following a rainfall of 1/2-inch or more over a 24-hour period. A record of such inspections shall be kept onsite at all times until final acceptance of the work.
- Any soil erosion control measures that are deemed necessary by the Village Engineer or any other authority having jurisdiction shall be implemented immediately by the Contractor.
- All silt fence shall be installed and approved by the Village of Villa Park prior to construction.
- All construction sites shall have a 10-foot wide x 6-inches deep stone access drive comprised of CA-1 stone. The length shall be a minimum of 50 feet unless otherwise approved by the Village Engineer. All access to and from the site shall be restricted to this construction entrance.
- Pumping sediment-laden water into any stormwater facility either directly or indirectly without filtration is prohibited. Water removed from traps, basins and other water holding depressions or excavations must first pass through a sediment control and/or filtration device. When dewatering devices are used, discharge locations shall be protected from erosion.
- Modifications to existing stormwater facilities shall be stabilized within 48 hours.
- All storm drain inlets shall be protected by an appropriate sediment control measure when the area tributary to an inlet is disturbed.
- All trenches, holes or other excavations required for utility installation should be back-filled and stabilized at the end of each working day. No excavation should be opened more than what can be stabilized by the end of the same day. If an excavation must be left unstabilized or opened overnight, soil erosion and safety protection measures shall be installed.
- The surface of stripped or disturbed areas shall be permanently or temporarily stabilized within 7 days after final grade is reached or when left idle for more than 7 days. Temporary erosion and sediment control measures shall be maintained continuously until permanent soil erosion control measures have been adequately established.
- All Special Management Areas shall, at a minimum, have a dual silt fence barrier of protection. Additional soil and sediment erosion control measures may be required to adequately protect these areas.
- Stockpiles of soil or any other building material shall not be located in Special Management Areas.
- If a stockpile is to remain in place for more than three days, then erosion and sediment control shall be provided for such stockpile.
- All waste generated as a result of site development (including discarded building materials, concrete truck washout, chemicals, litter, sanitary waste or any other waste) shall be properly disposed of and be prevented from being carried off the site by either wind or water.
- Any soil, mud or debris reaching a public or private roadway or sidewalk shall be removed immediately and transported to a controlled sediment disposal area.
- All temporary erosion and sediment control measures shall be removed within 30-days after final stabilization is achieved with permanent soil stabilization measures. Trapped sediment and other disturbed soils resulting from temporary measures shall be properly disposed of, and the area permanently stabilized.

GENERAL NOTES:

- The contractor is responsible for contacting JULIE for utility locates a minimum of 48 hours in advance of beginning excavation.
- The contractor is solely responsible for safety on the job site.
- The contractor shall be required to obtain all necessary permits as required, prior to commencing construction.
- The Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction", latest edition, and all addenda thereto, and Village of VILLA PARK requirements shall govern the earthwork and paving work under this contract.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois," latest edition, shall govern the underground work under this contract, except as modified by these specifications, or where in conflict with Village of VILLA PARK Standards.
- All work shall be conducted in accordance with OSHA requirements and Village of VILLA PARK regulations and standards, and shall confirm in all respects to all state and federal laws and regulations. The contractor is solely responsible for safety on job site.
- The Contractors shall notify all utility companies for filed locations of their facilities prior to beginning construction. The Contractor will be responsible for the maintenance and preservation of these facilities. Any utility locations shown on the plans are based on available records and are for general direction only.
- Construction operation shall be conducted in such a way as to prevent tracking of mud or soil, debris, asphalt and concrete onto public thoroughfares. At the end of each day, the contractor shall remove materials deposited onto public streets and alleys.
- Public streets and alleys shall be restored promptly meeting Village of VILLA PARK standards and specifications.
- The contractor shall verify the exact elevation and location of all existing utilities and appurtenances prior to construction, to avoid interferences.
- Appropriate precautions shall be taken to avoid damage to and to protect existing utilities and appurtenances in the vicinity of work.
- All building layouts should be done by a registered land surveyor after confirming the property corners in the field. Any discrepancies should be brought to the attention of the design engineer prior to initiating construction.
- Village's Standard Engineering Notes and details take precedence over all conflicting information throughout the plans.

SITE BENCHMARK IS CUT CROSS ON THE NORTHWEST BURY BOLT OF A FIRE HYDRANT ON THE NORTH SIDE OF HIGHRIDGE, NORTHWEST OF OUR SITE, ELEV 706.458 TRANSFERRED FROM NICK BM 042105, ELEV 707.14 NAVD83

NOTE:
 EXISTING CONDITIONS ARE BASED UPON A TOPOGRAPHIC SURVEY. THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS A BASIS FOR CONSTRUCTION LAYOUT. PROPERTY LINE INFORMATION SHOWN IS BASED ON THE PLAT OF SURVEY RECEIVED FROM THE OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY BCI'S SURVEY CREW.

PROPERTY BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM OFFICIAL PLATS AND RECORDS

LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E. @ 1-800-892-0123 BEFORE DIGGING

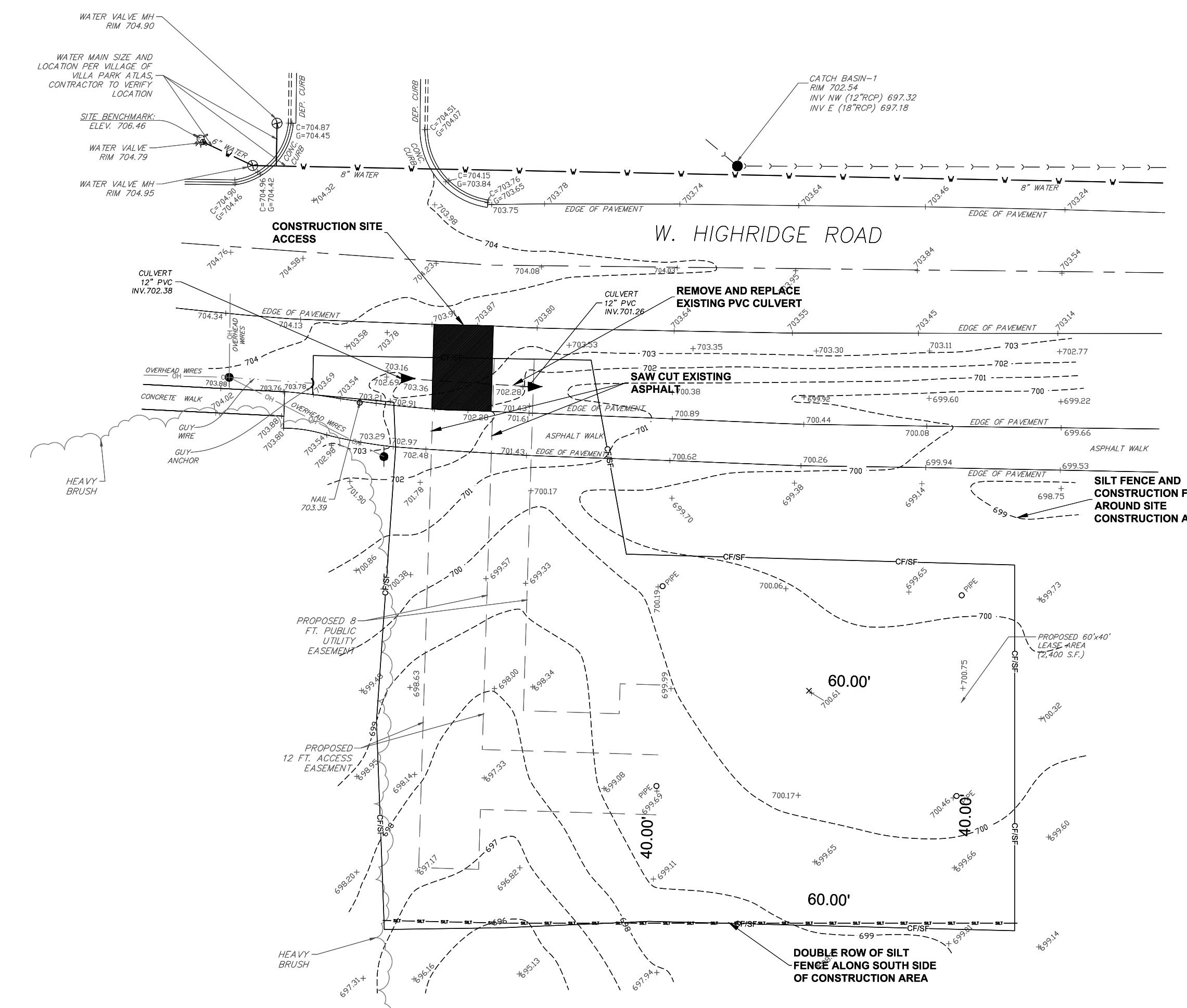
LOCATIONS OF EXISTING UTILITY SERVICES ARE BASED ON VISUAL OBSERVATIONS. CONTRACTOR MUST CONFIRM LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN.

LEGAL DESCRIPTION:

ALL THAT PARCEL OF LAND IN THE COUNTY OF DUPAGE, ILLINOIS, AS MORE FULLY DESCRIBED IN DEED DOCUMENT NUMBER R74-03004 AND BOOK 878 PAGE 63 AND PARCEL # 06-16-01-054.

COMMONLY KNOWN AS: 355 W. HIGHRIDGE ROAD, VILLA PARK, ILLINOIS.

LEGEND	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
---	EXISTING SANITARY
---	COMBINATION SEWER
---	PROPOSED SANITARY SEWER
---	PROPOSED COMBINATION SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED PERFORATED PIPE
---	EXISTING WATERMAIN
---	PROPOSED WATERMAIN
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND CABLE
---	EXISTING TREE
---	REMOVE TREE
---	TEMPORARY TREE FENCE
---	TEMPORARY SILT / CONSTRUCTION FENCE
---	SUMP PUMP [PROPOSED/EXISTING]
---	EJECTOR PUMP [PROPOSED/EXISTING]
---	DOWNSPOUT (IN-GROUND) [PROPOSED]
---	SWALE [PROPOSED]
---	OUTLET / POP-UP EMITTER
---	CATCH BASIN
---	STORM MANHOLE
---	SANITARY MANHOLE
---	CLEANOUT
---	B BOX
---	WOOD UTILITY POLE
---	LIGHT POLE
---	FLARED END SECTION (F.E.S.)
---	INLET / DRAIN
---	WATER VALVE VAULT / WATER METER
---	SIGN
---	MANHOLE (UNCLASSIFIED)
---	FIRE HYDRANT
---	TREE TAG NO.
---	STOP LIGHT
---	GAS VALVE
---	ROOT PRUNE
---	AUGERING
---	PATCHING
1/5 000.00	TOP OF GARAGE SLAB
1/1 000.00	TOP OF FOUNDATION
1/1 000.00	FINISH FLOOR
1/4 000.00	TOP OF WALL
1/4 000.00	TOP OF WINDOW WELL
0.000.00	CURB AND GUTTER ELEVATIONS



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

Bernard A. Bono
 REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS
 062-044068

DATE: 08.19.2025
 SIGNATURE: [Signature]
 MY LICENSE EXPIRES ON NOVEMBER 30, 2023

EXP. 11-30-23 INDEX TO SHEETS	
NO.	DESCRIPTION
C-1	COVER SHEET, EROSION CONTROL PLAN, AND DEMOLITION PLAN
C-2	DRAINAGE AND GRADING PLAN AND STORMWATER CALCULATIONS
C-3	DETAILS AND NOTES

DATE	REVISIONS	ISSUE	PROJECT STAFF
06-20-2023	1. TOPOGRAPHIC SURVEY	B. BONO	PROJECT MANAGER
06-27-2023	2. REVISIONS TO ACCESS VILLAGE COMMENTS		ENGINEER
06-29-2023	3. REVISIONS TO ACCESS VILLAGE COMMENTS		ENGINEER
07-01-2023	4. REVISIONS TO ACCESS VILLAGE COMMENTS		TECHNICIAN
06-29-2023	5. REVISIONS TO SITE PLAN		AUTOCAD
			1
			2
			3
			4
			5
			6
			7
			8
			9

BCI
BONO CONSULTING CIVIL ENGINEERS
 A Service & Mather Engineers company
 1601 BOND STREET, SUITE 305
 NAPERVILLE, IL 60563
 630-823-3300
 bbono@bonoconsulting.com

COVER SHEET
 EXISTING CONDITIONS

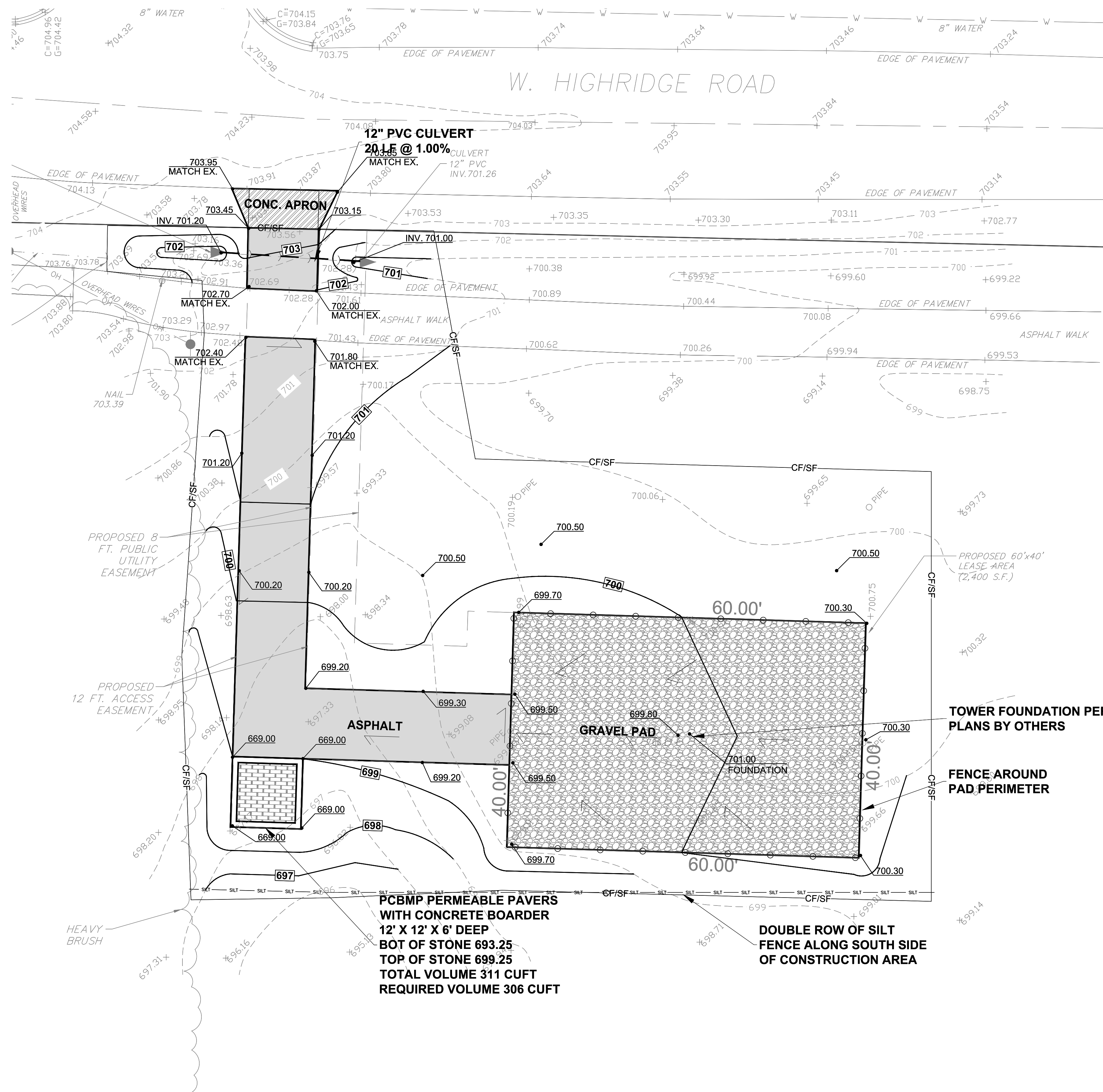
355 W. HIGHRIDGE ROAD, VILLA PARK, IL. 60181

PROJECT NO.: 230759
 SHEET FILE:
 SHEET FILE:
 ISSUE DATE: JUNE, 05, 2023
 SCALE: 1"=20'-0"
 SHEET NUMBER
C-1

UTILITY LEGEND	
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	INLET
	STORM MANHOLE
	SANITARY MANHOLE
	CLEANOUT
	B BOX
	WATER VALVE VAULT / WATER METER
	SIGN
	FIRE HYDRANT
	GRANULAR TRENCH BACKFILL

EARTHWORK NOTES:

- All existing foundations, pavement, aggregate base, soil surfaces, excavated soil and vegetation shall be removed and disposed properly off site.
- Remove soft or otherwise unstable subgrade materials.
- Embankment shall be placed in accordance with Section 205 of the "Standard Specifications for Road and Bridge Construction." All embankments located within structural fill areas shall be constructed to a minimum 95% of the modified proctor density (ASTM D1557). Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified proctor density (ASTM D1557).
- Subbase shall be adequately compacted and proof rolled with a loaded semitrailer prior to placing aggregate base. Any soft areas shall be removed and replaced with aggregate base.
- Fill and subgrade to be compacted to 95% standard proctor density.
- All earthwork shall be done in accordance with the state of Illinois, "Standard Specifications for Road and Bridge Construction," latest edition and "Supplemental Specifications and Recurring Special Provisions," latest edition. Included in this work, but not necessarily limited to the following are: clearing, stripping and stockpiling of topsoil, mass grading and fine grading of the site and roadways, excavation of unsuitable materials and excavation of detention ponds, landscape mound construction, and miscellaneous topsoil respread and seeding.
- All grading operations are to be supervised and inspected by the owner's engineer or their representative. All testing, inspection, and supervision of soil quality, unsuitable soil removal and its replacement, and other soils related operations shall be entirely the responsibility of the soils engineer. No undercut shall be performed or claims for extra work without authorization by the owner and documentation by the soils engineer.
- After stripping and excavating to the proposed subgrade level, as required, the building and parking areas should be proof-rolled with a loaded, tandem-axle dump truck or similar rubber tired vehicle, loaded with at least 9 tons per axle. Proof-rolling aids in providing a firm base for compaction of fills, and help to delineate soft, loose, or disturbed areas that may exist below subgrade level. Proof-rolling is especially important to help evaluate the surface stability of existing fill soils that may be left in place below floor slabs and pavements. Soils which are observed to rut or deflect excessively (more than 1 inch) under the moving load should either be scarified and re-compacted with a smooth drum vibratory roller for granular soils, a sheeps foot roller for cohesive soils, or undercut and replaced with properly compacted and documented structural fill. The proof-rolling and undercutting activities should be observed and documented by a representative of the geotechnical engineer and should be performed during a period of dry weather. In addition to proof-rolling, the subgrade soils should be scarified and compacted to at least 90 percent of the Modified Proctor maximum dry density ASTM D 698 for a depth of at least 8 inches below the surface.
- Where encountered, loose sands should be re-compacted with a vibratory roller. Clay subgrade soils can be easily disturbed by construction activities and are sensitive to moisture. Therefore, extra care should be used to avoid disturbing these soils during construction activities. If the soils become unstable during construction, or if near surface soft subgrade soils are encountered, it is recommended that coarse aggregate be placed on the subgrade until a stable base for compaction of fill is achieved. Typically, 12 to 24 inches of coarse aggregate are required, depending on the consistency of the subgrade, the coarse aggregate should consist of clean, crushed stone gravel between 1/4 and 3 inches in size. The coarse aggregate should be spread in a max. of 12-inch layers and consolidated with compaction equipment until it is "locked" in place.
- It shall be the responsibility of the contractor to remove from the site any and all materials and debris which results from their construction operations at no additional expense to the owner.
- When in the opinion of the soils engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding specified, the contractor shall obtain approval by the owner and the owner's engineer prior to removing the unsuitable soils and replace the material with granular compacted bedding material as directed by the soils engineer and the Municipality. The depth of the removal and replacement shall be documented by the owner's engineer and witnessed by the contractor. This work, when approved by the owner and owner's engineer, will be measured and paid for at the contract unit price per cubic yard in place for unsuitable soil which price shall include the removal and off-site disposal of unsuitable soil, the additional bedding material, and all labor, materials and equipment required to perform the work as specified.
- The contractor shall be responsible for hiring and scheduling a qualified testing firm for all soil testing. This shall be included in the cost of work.
- Subgrade for pavement and sidewalks shall be finished to +/- 0.1 foot of design subgrade elevations by the earthwork contractor. Fine grading shall be the responsibility of the paving contractor.
- Subbase shall be adequately compacted and proof rolled with a loaded semitrailer prior to placing aggregate base. Any soft areas shall be removed and replaced with aggregate base.
- Gravel subgrade preparation shall be in accordance with Article 212 of IDOT standard specifications.
- Aggregate base course under sidewalks, driveways, curbs, and pavement shall be type B in accordance with IDOT Article 351.
- All landscaping and lawn areas shall have a minimum of 6" topsoil per IDOT Article 211.
- Proposed elevations are top of sod (lawn areas), top of asphalt or top of concrete.
- Finished dirt grade in lawn areas shall be 2" below top of sod.



STORM WATER DETENTION NOTES:

- DETENTION STORAGE VOLUME IS CALCULATED BASED ON 100-YEAR, 24-HOUR EVENT PER VILLA PARK REQUIREMENTS
- CALCULATED AVERAGE CN = 83
- VILLAGE REQUIRED DETENTION STORAGE VOLUMES = 0.445AC-FT/AC * 10,277 SF = 4,573 CF
- OWNER TO PAY SITE RUNOFF PROGRAM FEE IN LIEU = \$ 3 * 4,573CF = \$ 13,719

Required Detention Storage Volumes
 Projects Requiring Only Village Specific Detention (Appendix D)
 Based on TR-55 Methodology: 24 Hour Event, Huff 3rd Quartile Distribution
 2 YR Precipitation = 3.34 / 100 YR Precipitation = 8.57 inches

Runoff Curve Number	Required Storage Volume (ac-ft/ac)	
	2 Year 0.04 cfs/ac	100 Year 0.10 cfs/ac
70	0.041	0.322
71	0.046	0.332
72	0.050	0.342
73	0.054	0.351
74	0.058	0.361
75	0.062	0.370
76	0.067	0.380
77	0.072	0.389
78	0.077	0.399
79	0.082	0.408
80	0.087	0.417
81	0.092	0.427
82	0.098	0.436
83	0.104	0.445
84	0.110	0.455
85	0.115	0.464
86	0.122	0.473
87	0.128	0.483
88	0.134	0.492
89	0.141	0.501
90	0.147	0.510
91	0.155	0.519
92	0.162	0.528
93	0.169	0.537
94	0.176	0.546
95	0.184	0.555
96	0.192	0.564
97	0.200	0.573
98	0.208	0.581
99	0.216	0.590

SITE DATA

	Sq.Ft.	Acres	%	CN	C Factor
TOTAL SITE AREA	10,277	0.24			
EXISTING IMPERVIOUS AREA (2010)	-	0.00	0%	98	0.95
PROPOSED IMPERVIOUS AREA	3,711	0.09	36%	98	0.95
PAVEMENT	3,711	0.09	36%		
PROPOSED PERVIOUS AREA	6,566	0.15	64%	74	0.45
Average = 83 0.63					
NET INCREASE IN IMPERVIOUS AREA	3,711	0.09			
ALL NEW IMPERVIOUS AREA (60% FOR GRAVEL)	2,940	0.07			

VCBMP DETENTION REQUIRED PER DUPAGE COUNTY REQUIREMENTS
 STORM DETENTION REQUIRED BY VILLAGE OF VILLA PARK
 306.25 CUFT OF VCBMP REQUIRED

CONCRETE AND ASPHALT NOTES:

- Concrete shall be placed in accordance with IDOT Standard Specifications Section 420. Concrete surfaces must be warranted for one year against any birdbathing, ponding or cracks over 1/4 wide.
- All concrete shall be minimum 3,500 psi.
- Clean, full depth sawcuts through existing sidewalk and curb scheduled for removal.
- Combination curb & gutter is 6" high unless otherwise noted.
- A 3/4" fiber expansion joint shall be installed when the new sidewalk or curb abuts any building.
- Contraction joints should be sawcut a minimum of two inches deep within 4-12 hours of concrete placement, but no later than 24 hours after concrete placement, be in accordance with Section 420.05 IDOT Standard Specifications.
- Maximum 50' c-c between contraction joints in curbs or sidewalk.
- Asphalt shall be placed in accordance with IDOT Standard Specification Section 406. Asphalt surfaces must be warranted for one year against birdbathing/ponding of 1/2" standing water for areas greater than 25 square feet.
- All parking lots to be proof rolled prior to placement of aggregate subbase and again prior to initial asphalt lift. Proof roll to be done with loaded double axle dump truck and witnessed by an owner's representative.

PAVEMENT LEGEND	
	ASPHALT PAVEMENT 1 1/2" HMA SURFACE COURSE, MIX D, IL-9.5, N50 2" HMA BINDER COURSE, IL-19, N50 8" AGGREGATE BASE COURSE CA-6, TYPE B
	CONCRETE APRON/PAVEMENT 8" PORTLAND CEMENT CONCRETE 4" COMPACTED AGGREGATE BASE COURSE CA-6
	GRAVEL PAD 2" CLEAN WASHED STONE (#57 NATURAL ROCK) 6" CRUSHED ROADBED GRAVEL CA-6 GRADE 9 # 67)
	PERMEABLE PAVERS PER DETAIL PROVIDED

DATE	REVISIONS
06-20-2023	1 TOPGRAPHIC SURVEY
06-27-2023	2 REVISIONS TO ADDRESS VILLAGE COMMENTS
06-29-2023	3 REVISIONS TO ADDRESS VILLAGE COMMENTS
07-01-2023	4 REVISIONS TO ADDRESS VILLAGE COMMENTS
06-29-2023	5 REVISIONS TO SITE PLAN
	6
	7
	8
	9

PROJECT STAFF	ISSUE
PROJECT MANAGER	B. BONDLE
ENGINEER	ENGINEER
TECHNICAL	TECHNICAL

DCI
BONO CONSULTING
CIVIL ENGINEERS
 A Seves & Maher Engineers company
 1601 BOND STREET, SUITE 305
 NAPERVILLE, IL 60563
 Phone: 630-261-1100
 Email: info@bonoconsulting.com

UTILITY PLAN

355 W. HIGHRIDGE ROAD, VILLA PARK, IL. 60181

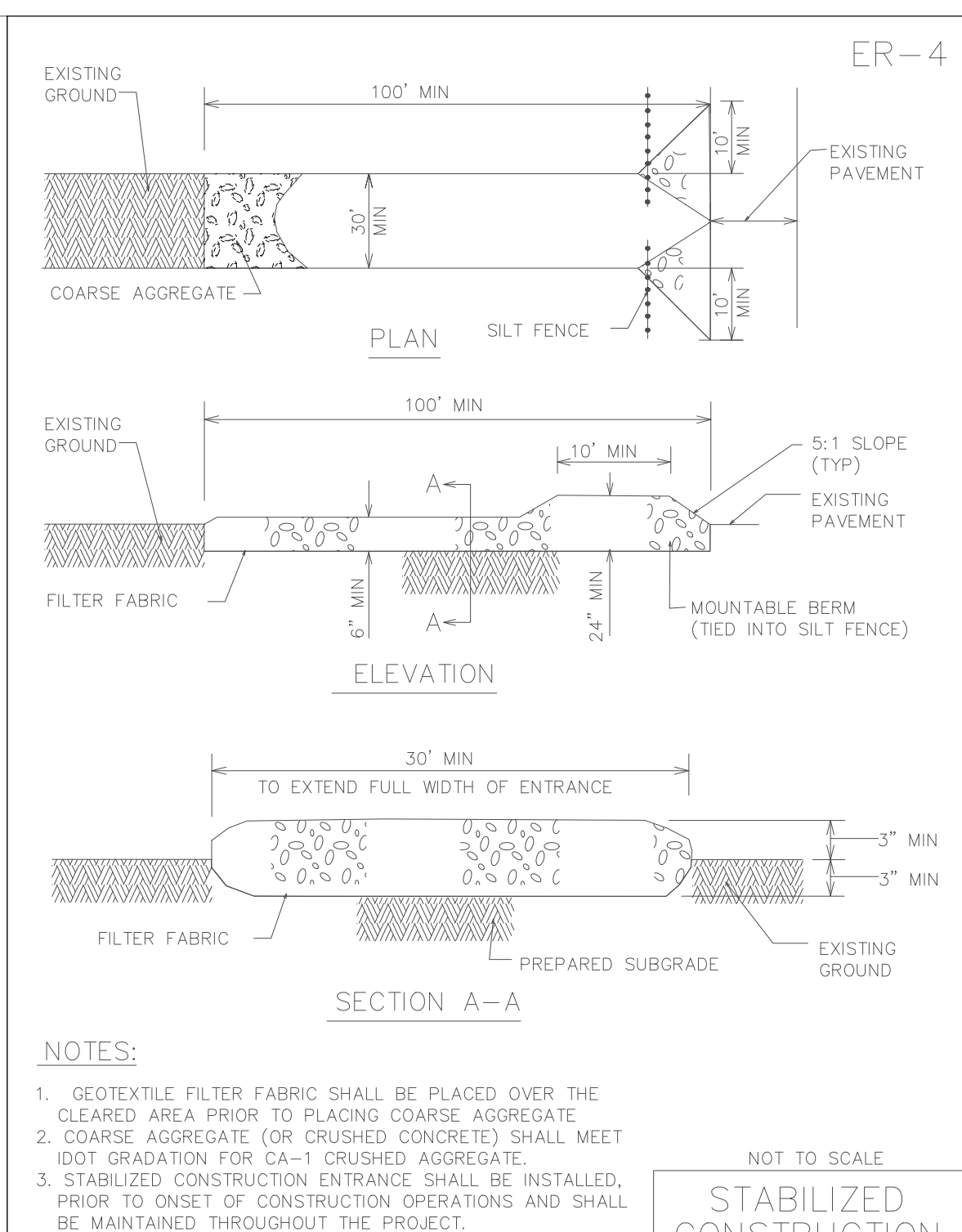
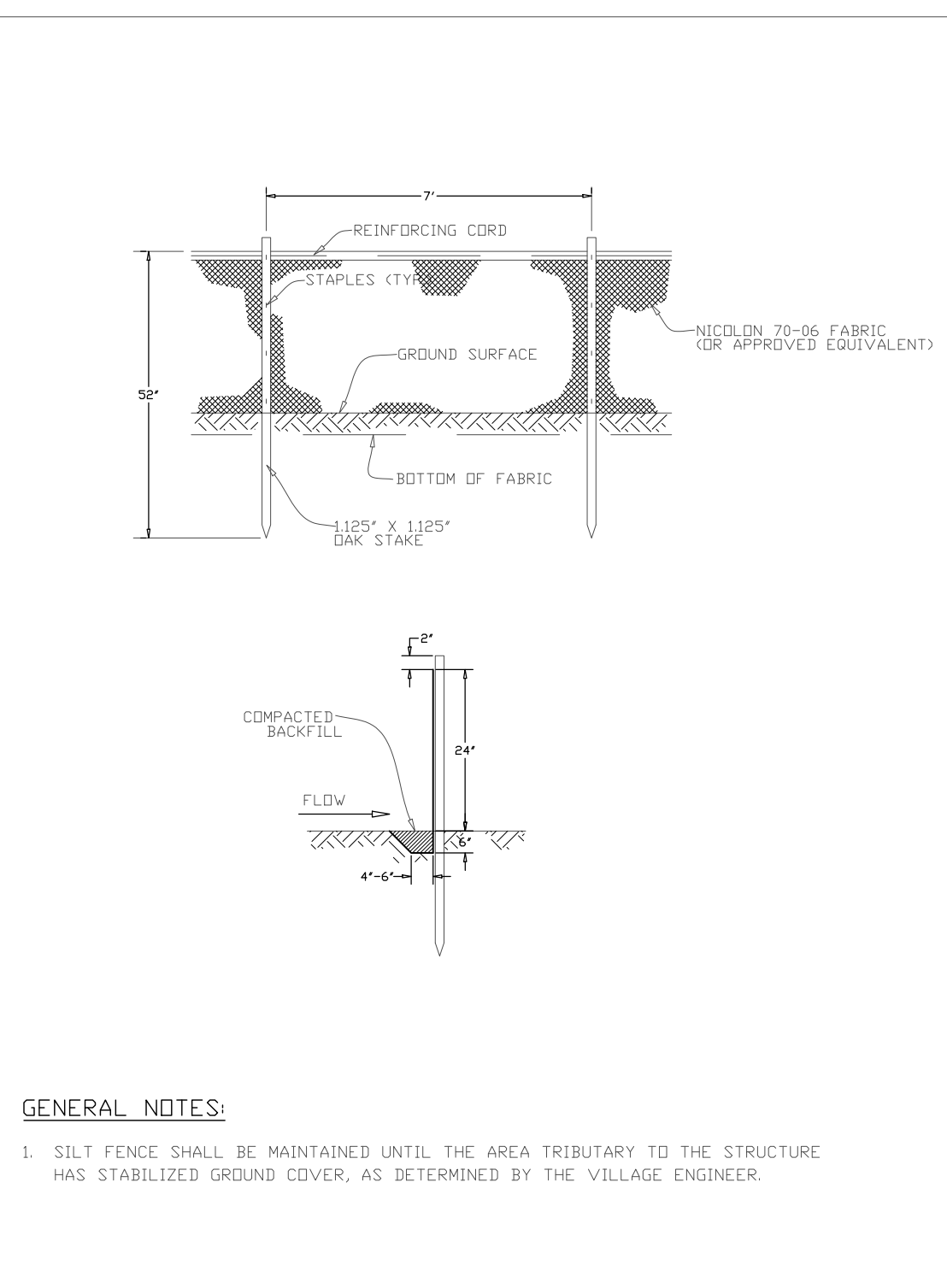
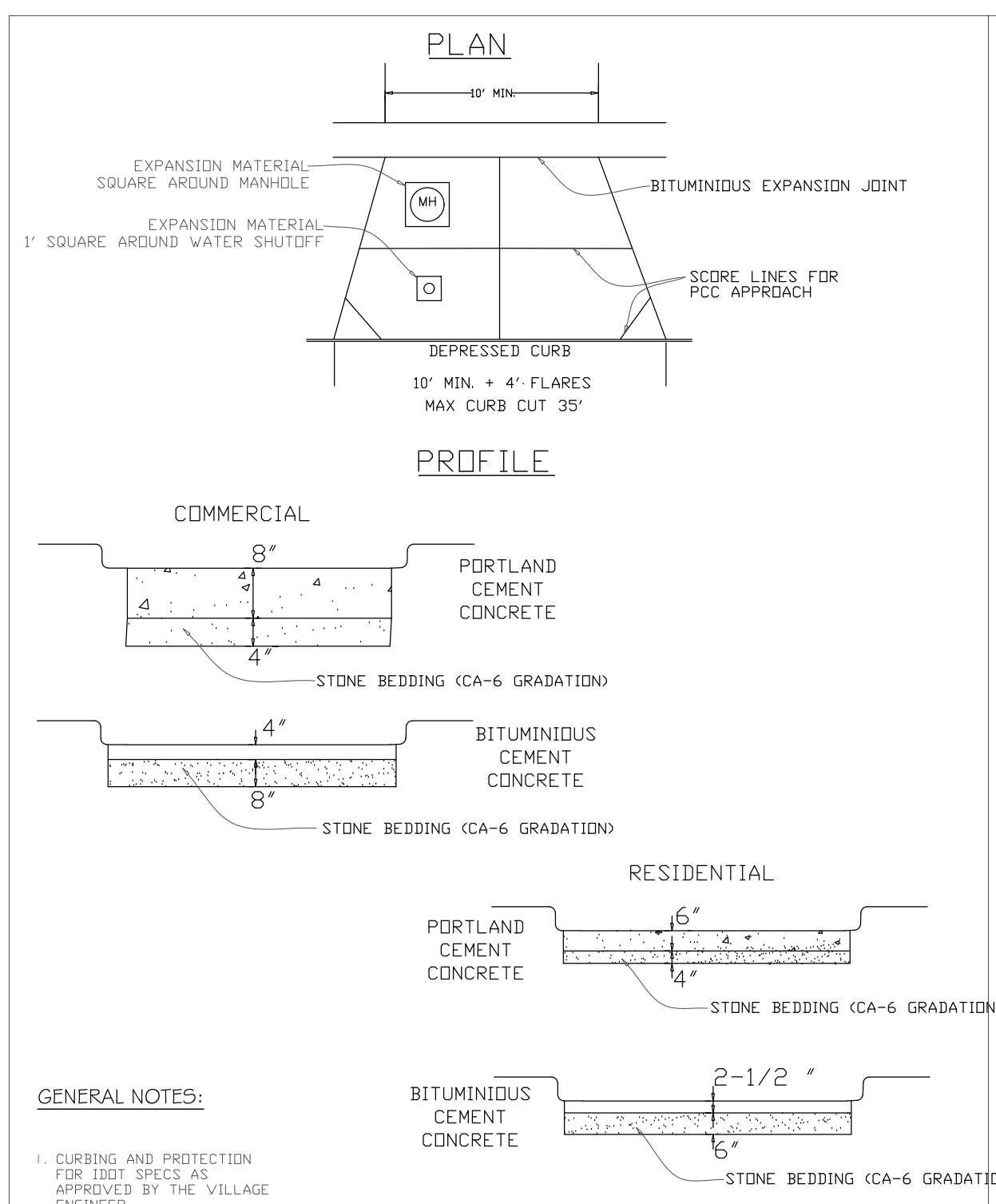
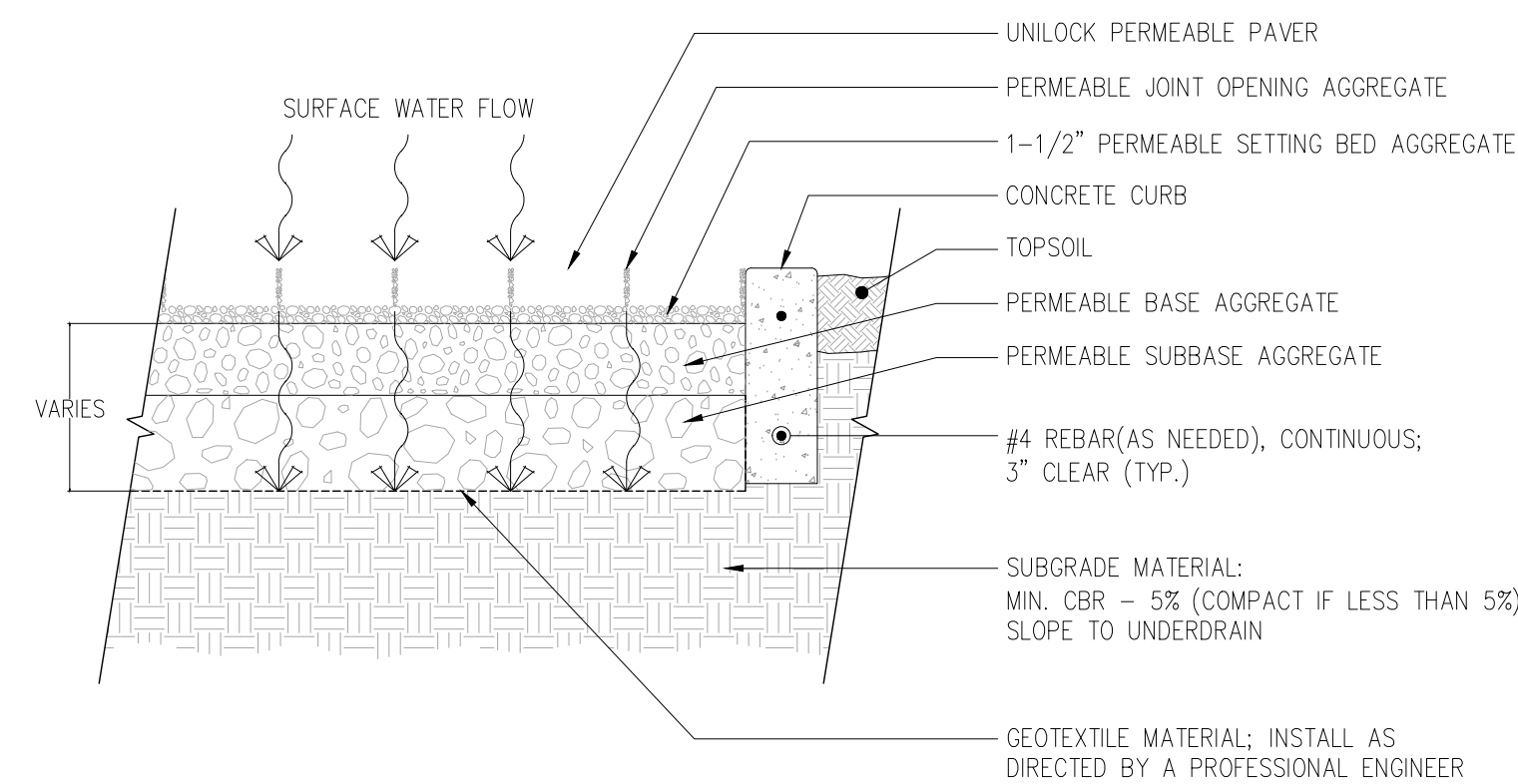
PROJECT NO.: 230759
 BASE FILE:
 SHEET FILE:
 ISSUE DATE: JUNE, 05, 2023
 SCALE: 1"=10'
 SHEET NUMBER
C-2

1. The Public Works Department, (630) 834-8505, must be notified twenty-four (24) hours in advance for inspections and shutoffs and forty-eight (48) hours in advance for water taps.
2. One (1) set of approved plans must be on the site at all times.
3. All paving, curb & gutter, driveways, and sidewalks, including earthwork required for preparation of sub-grade, will be constructed in accordance with the Illinois Department of Transportation's (IDOT) "Standard Specifications for Road and Bridge Construction," current edition and supplements, except as modified to conform with Village of Villa Park requirements.
4. Trenches under and within three feet (3') of pavement (streets, driveways, curb & gutter, and sidewalks) will be backfilled with granular trench backfill conforming to a gradation of CA-6/Grade 8. Granular trench backfill will be mechanically compacted in layers of 12" maximum, loose measure, to 95% of standard density (ASTM D698).
5. All existing pavement to be removed will be saw cut full depth along the limits of the removal.
6. Replacement of the street pavement subsequent to the installation of utilities will meet IDOT Standard Specifications for Road and Bridge Construction, Article 442.06, and be made as follows:
 - a. Asphalt - 2" Hot-Mix Asphalt Surface Course, Mix "D", N50, over a 4" Hot-Mix Asphalt Binder Course, N50, or to Village Engineer's specifications.
 - b. P.C.C. - 8" minimum thickness, tie into the existing pavement with #6 x 24" dowels, embedded 8" and staggered at 24" O.C.
7. All pavements will be replaced within one week of their removal.
8. All sidewalks will meet existing widths with a minimum thickness of four inches (4") except at any existing or proposed driveway(s) the thickness will be six inches (6"). Bedding will be a minimum of 4" of CA-6/Grade 8. All existing sidewalks and curb and gutter sections must be replaced unless waived by the Village Engineer.
9. All driveways will be replaced as follows:

Residential	Hot-Mix Asphalt	4"	Surface Course
	Portland Cement Concrete	6"	CA-6, Grade 8 Stone
		6"	Class SI
Commercial	Hot-Mix Asphalt	4"	CA-6, Grade 8 Stone
	Portland Cement Concrete	6"	Surface Course
		8"	CA-6, Grade 8 Stone
		8"	Class SI
		6"	CA-6, Grade 8 Stone

All manholes and buffalo boxes within a PCC driveway must be boxed out with 1" expansion material.
10. All parkways disturbed during construction will be restored with four inches (4") of topsoil and salt-tolerant sod.
11. All parkway and nearby trees on adjoining property will have guards to protect trees. A minimum of four (4) stakes shall be used and the fence shall be four (4) feet from the trunk of the tree.
12. All stumps must be removed to a minimum of one foot below proposed ground elevation.
13. Materials and installation for all water and sewer related work will be in accordance with the "Standard Specifications for Water and Sewer Main Construction in Illinois," current edition and the American Water Works Association except as modified to conform with Villa Park requirements.
14. All water main shutdowns will be performed by Village personnel only. A minimum of twenty-four (24) hours notice will be given to the Public Works Department prior to requested shutdown.
15. Existing water and sanitary sewer services will not be reused without a written approval from the Water/Wastewater Superintendent.
16. Band-seal flexible connectors (non-shear mission couplings) will be used to join pipes of dissimilar materials.
17. All PVC pipe joints will conform to ASTM D 3212 and shall be sealed by rubber gaskets conforming to ASTM F 477.
18. Down spouts and sump pumps will discharge at grade and be directed away from and at least ten feet (10') from adjacent properties.
19. Provide for the immediate removal of any mud and debris that is deposited onto the streets

20. Any soil erosion control measures that are deemed necessary by the Village Engineer will be implemented immediately by the contractor.
21. All footing and top of foundation elevations, and building setbacks and dimensions must be surveyed and a spot survey must be submitted and approved prior to any future construction.
22. All concrete curbs, sidewalk and driveway aprons require pre-inspection.
23. All construction sites will require a stone access road 10 feet wide with a 6" depth comprising of CA-1 stone.
24. Any activity that disturbs the pavement, vegetation or soil requires a DuPage County Stormwater Permit.
25. An RPZ valve is required for development other than single family residential, unless a written waiver is obtained from the Public Works Department.
26. Residential dual check valve backflow preventor (series 7) is required if a private well is located on the premises and is not capped by a certified well contractor.
27. All existing grades along property lines must be maintained.
28. Proposed grade changes will not cause surface water runoff to be diverted onto or detained on abutting or nearby property, will not significantly alter existing drainage patterns and will not increase or concentrate storm water runoff onto abutting or nearby property.
29. Downspout drainage must discharge at grade and must not drain onto or toward adjacent properties. Indicate on the plans the proposed downspout locations and their direction of drainage.
30. Drainage swales must have sufficient depth and width to direct storm water runoff toward a storm drainage system. Swales must meet existing grades at the property lines and have a minimum slope of 1%. Damming or displacing water onto adjacent properties is not permitted.
31. Proposed driveway must meet existing grades along the property line and then slope 1/8" to 1/4" per foot away from the property line and toward the center of the driveway in order to keep water runoff on site and prevent runoff towards adjacent properties. Include details on the driveway and the property line (spot elevations at property line, centerline and at garage slab). If installing curb along the driveway make sure it will not dam water on adjacent properties. Show top of curb elevations and grades on adjoining property.
32. Landscaping that effectively changes yard elevations or existing drainage patterns will not be permitted unless a fill permit is issued by the Village.



REV. DATE 1. CURING AND PROTECTION FOR IDOT SPEC AS APPROVED BY THE VILLAGE ENGINEER	VILLAGE OF VILLA PARK STREET - 03	REV. DATE 1. SILT FENCE SHALL BE MAINTAINED UNTIL THE AREA TRIBUTARY TO THE STRUCTURE HAS STABILIZED GROUND COVER, AS DETERMINED BY THE VILLAGE ENGINEER.	VILLAGE OF VILLA PARK ROAD - 11
DRAWN BY: WV DATE: JAN 2003	TYPICAL DRIVEWAY APPROACH	DRAWN BY: WV DATE: JAN 2003	SILT FENCE INSTALLATION

REVISIONS		DATE
1	TOPGRAPHIC SURVEY	06-20-2003
2	REVISIONS TO ADDRESS VILLAGE COMMENTS	06-17-2003
3	REVISIONS TO ADDRESS VILLAGE COMMENTS	06-19-2003
4	REVISIONS TO ADDRESS VILLAGE COMMENTS	07-01-2003
5	REVISIONS TO SITE PLAN	06-19-2003
6		
7		
8		
9		

PROJECT MANAGER	ENGINEER	TECHNICIAN
B. BOND		

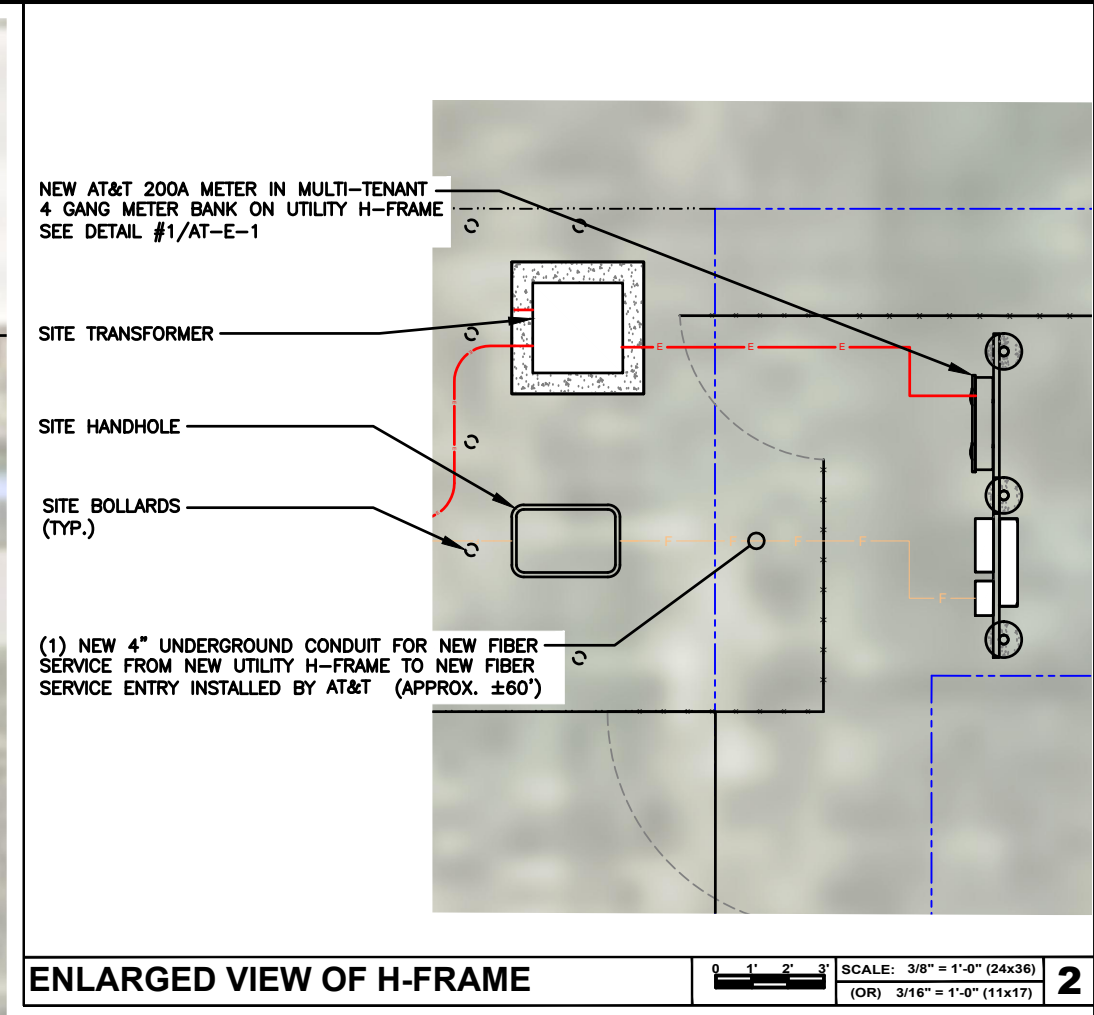
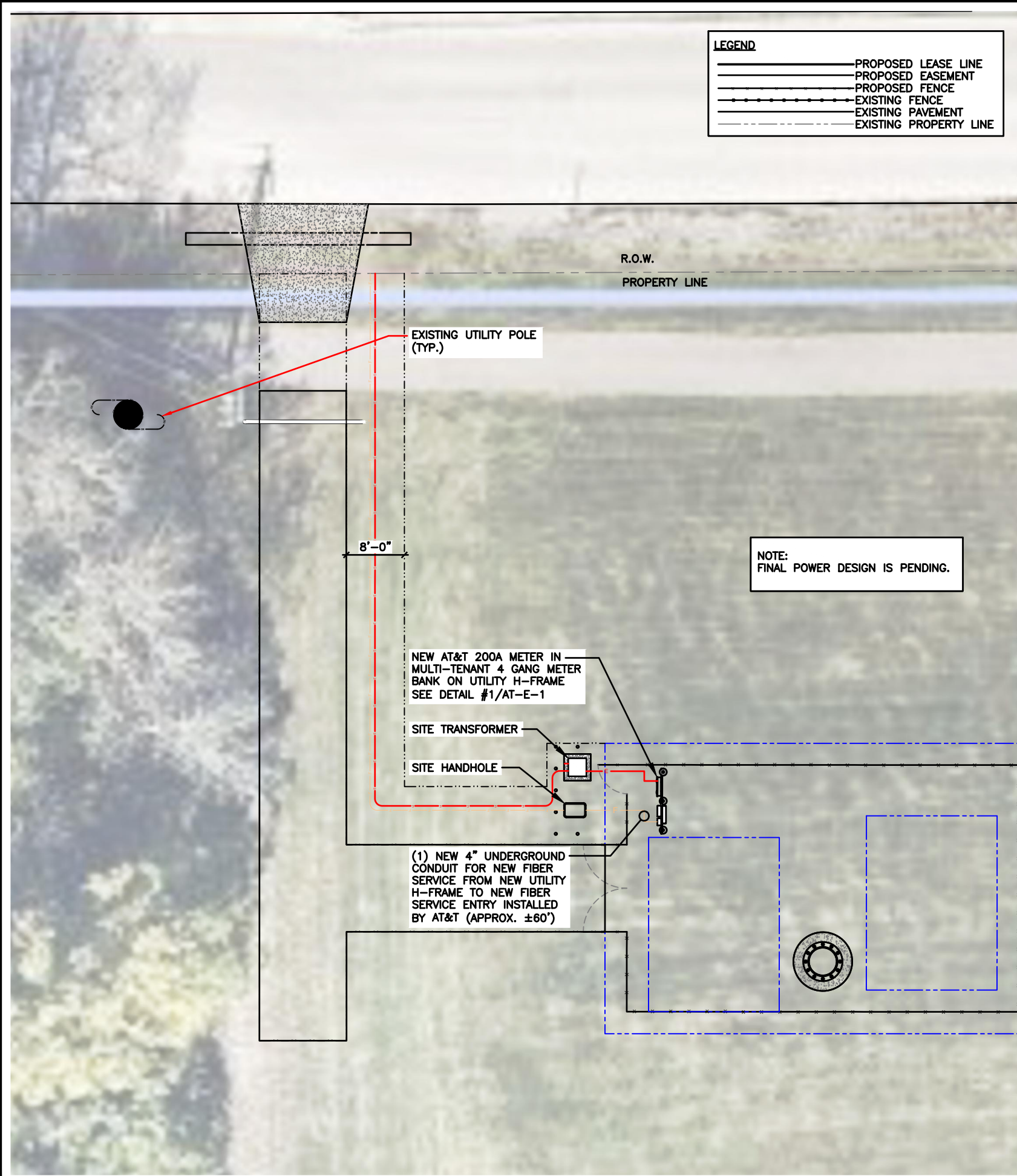
BCI
 BONO CONSULTING
 CIVIL ENGINEERS
 A Severe & Mather Engineers company
 1601 BOND STREET, SUITE 305
 NAPERVILLE, IL 60563
 630-252-8800
 info@bonoconsulting.com
 www.bonoconsulting.com

STANDARDS & DETAILS

355 W. HIGHRIDGE ROAD, VILLA PARK, IL. 60181

PROJECT NO.:	230759
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	JUNE, 05, 2023
SCALE:	NA
SHEET NUMBER	
C-3	

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



TowerCo
5000 VALLEYSTONE DRIVE
SUITE 200
CARY, NC 27519

RAMAKER
employees-owned
(608) 643-4100 www.ramaker.com

WESTCHESTER SERVICES LLC
604 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847.277.0070
FAX : 847.277.0080
ae@westchesterservices.com

DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
I hereby certify that the design, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
062-061932

STATE OF ILLINOIS

Signature: [Signature] Date: 8/29/2025
Expiration: 11/30/25

TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK

SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
E-1



Know what's below.
Call before you dig.

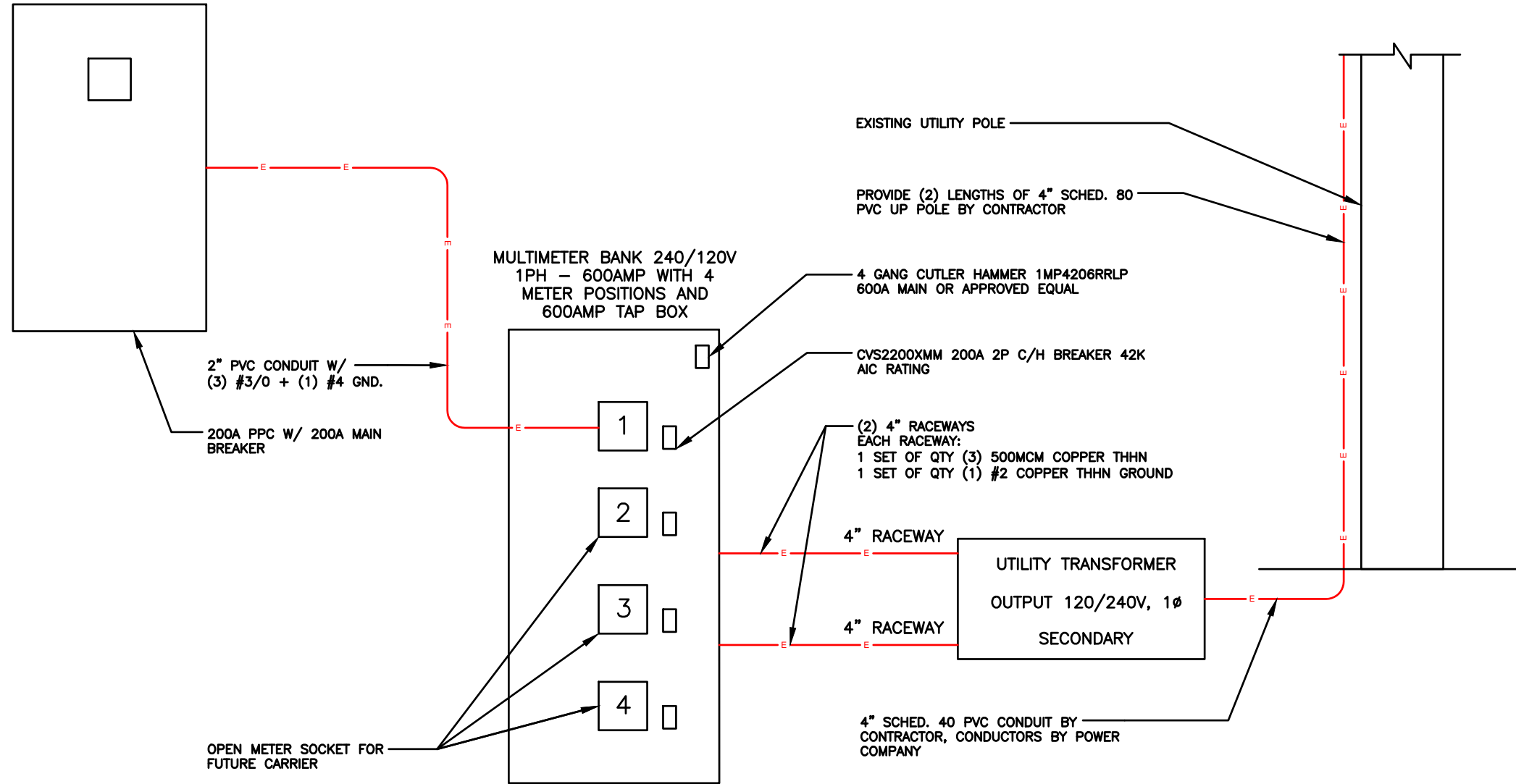


ENLARGED UTILITY PLAN

SCALE: 1/8" = 1'-0" (24x36)
(OR) 1/16" = 1'-0" (11x17)

1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



DRAWN BY: JS
 CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION



TOWERCO SITE ID: IL0378
 AT&T SITE# IL0378
 AT&T SITE NAME: VILLA PARK
 SITE ADDRESS:
 355 WEST HIGH RIDGE ROAD
 VILLA PARK, IL 60181

SHEET TITLE
 ELECTRICAL
 DIAGRAM

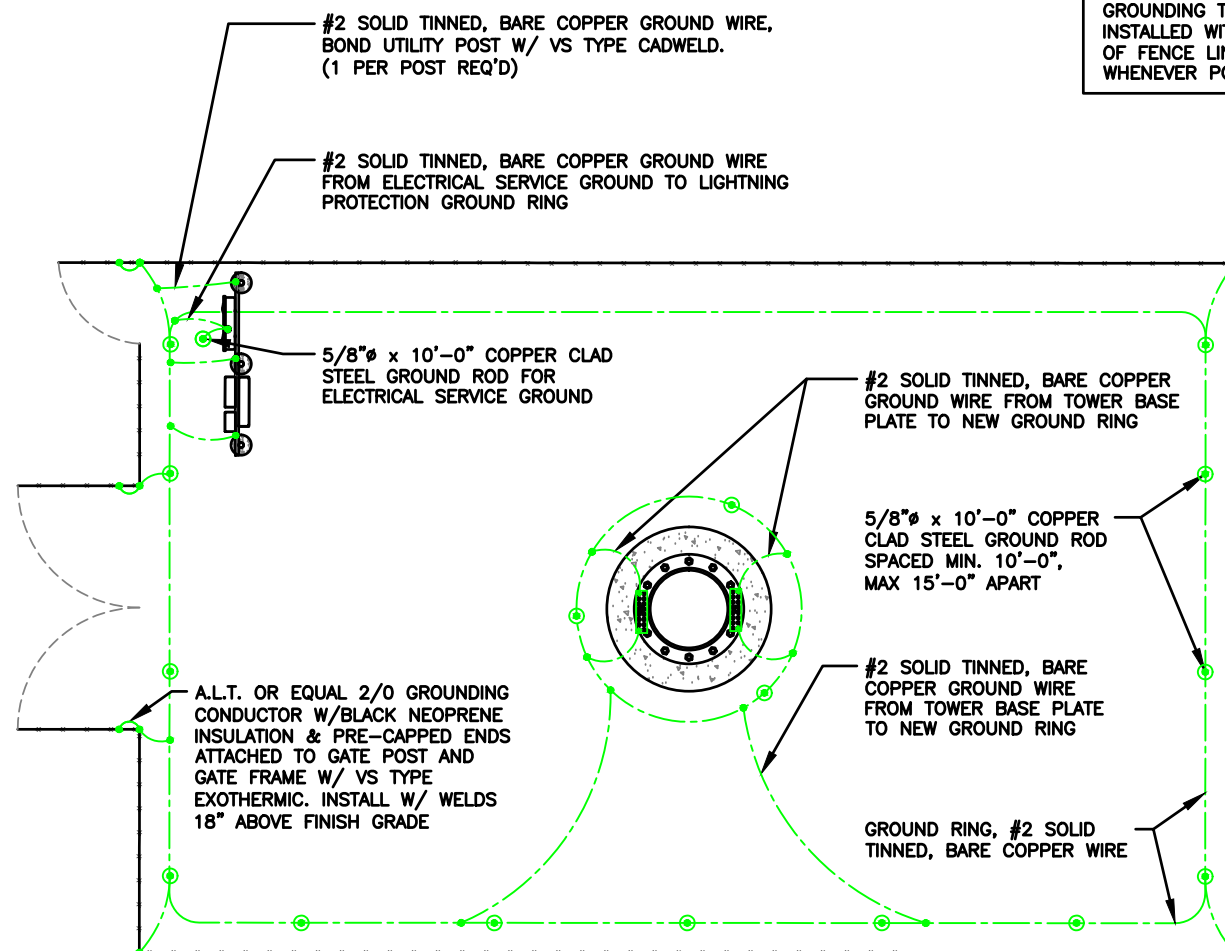
SHEET NUMBER
E-3

GROUNDING NOTES:

- GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
- ALL GROUNDING DEVICES SHALL BE U.L. APPROVED OR LISTED FOR THEIR INTENDED USE.
- ALL WIRES SHALL BE AWG THHN/THWN COPPER UNLESS NOTED OTHERWISE.
- GROUNDING CONNECTIONS TO GROUND RODS, GROUND RING WIRE, TOWER BASE AND FENCE POSTS SHALL BE EXOTHERMIC ("CADWELDS") UNLESS NOTED OTHERWISE. CLEAN SURFACES TO SHINY METAL. WHERE GROUND WIRES ARE CADWELDED TO GALVANIZED SURFACES, SPRAY CADWELD WITH GALVANIZING PAINT.
- GROUNDING CONNECTIONS TO GROUND BARS ARE TO BE TWO-HOLE BRASS MECHANICAL CONNECTORS WITH STAINLESS STEEL HARDWARE (INCLUDING SCREW SET) CLEAN GROUND BAR TO SHINY METAL. AFTER MECHANICAL CONNECTION, TREAT WITH PROTECTIVE ANTIOXIDANT COATING.
- GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH MANUFACTURER'S GROUNDING KITS.
- ROUTE GROUNDING CONDUCTORS THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEND GROUNDING LEADS WITH A MINIMUM 12" RADIUS.
- INSTALL #2 AWG GREEN-INSULATED STRANDED WIRE FOR ABOVE GRADE GROUNDING AND #2 BARE TINNED COPPER WIRE FOR BELOW GRADE GROUNDING UNLESS OTHERWISE NOTED.
- REFER TO GROUNDING PLAN FOR GROUND BAR LOCATIONS. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC TYPE ("CADWELDS") TO ANTENNA MOUNTS AND GROUND RING. REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION FITTINGS. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO-HOLE LUGS.
- THE GROUND ELECTRODE SYSTEM SHALL CONSIST OF DRIVEN GROUND RODS POSITION ACCORDING TO GROUNDING PLAN. THE GROUND RODS SHALL BE 5/8"x10'-0" COPPER CLAD STEEL INTERCONNECTED WITH #2 BARE TINNED COPPER WIRE BURIED 36" BELOW GRADE. BURY GROUND RODS A MAXIMUM OF 15' APART, AND A MINIMUM OF 8' APART.
- IF ROCK IS ENCOUNTERED GROUND RODS SHALL BE PLACED AT AN OBLIQUE ANGLE NOT TO EXCEED 45°.
- EXOTHERMIC WELDS SHALL BE MADE IN ACCORDANCE WITH ERICO PRODUCTS BULLETIN A-AT.
- CONSTRUCTION OF GROUND RING AND CONNECTIONS TO EXISTING GROUND RING SYSTEM SHALL BE DOCUMENTED WITH PHOTOGRAPHS PRIOR TO BACKFILLING SITE. PROVIDE PHOTOS TO THE VERIZON WIRELESS CONSTRUCTION MANAGER.
- ALL GROUND LEADS EXCEPT THOSE TO THE EQUIPMENT ARE TO BE #2 BARE TINNED COPPER WIRE. ALL EXTERIOR GROUND BARS TINNED COPPER.
- PRIOR TO INSTALLING LUGS ON GROUND WIRES, APPLY THOMAS & BETTS KOPR-SHIELD (TM OF JET LUBE INC.). PRIOR TO BOLTING GROUND WIRE LUGS TO GROUND BARS, APPLY KOPR-SHIELD OR EQUAL.
- ENGAGE AN INDEPENDENT ELECTRICAL TESTING FIRM TO TEST AND VERIFY THAT IMPEDANCE DOES NOT EXCEED FIVE OHMS TO GROUND BY MEANS OF "FALL OF POTENTIAL TEST". TEST SHALL BE WITNESSED BY A METROPCS REPRESENTATIVE, AND RECORDED ON THE "GROUND RESISTANCE TEST" FORM.
- WHERE BARE COPPER GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO GROUND RING, INSTALL WIRE IN 3/4" PVC SLEEVE, FROM 1' BELOW GRADE AND SEAL TOP WITH SILICONE MATERIAL.
- PREPARE ALL BONDING SURFACES FOR GROUNDING CONNECTIONS BY REMOVING ALL PAINT AND CORROSION DOWN TO SHINY METAL. FOLLOWING CONNECTION, APPLY APPROPRIATE ANTI-OXIDIZATION PAINT.
- ANY SITE WHERE THE EQUIPMENT (BTS, CABLE BRIDGE, PPC, GENERATOR, ETC.) IS LOCATED WITHIN 6 FEET OF METAL FENCING, THE GROUND RING SHALL BE BONDED TO THE NEAREST FENCE POST USING (3) RUNS OF #2 BARE TINNED COPPER WIRE.

NOT USED

SCALE
N.T.S. 2



NOTE:
GROUNDING TO BE
INSTALLED WITHIN 2'-0"
OF FENCE LINE
WHENEVER POSSIBLE

GROUNDING LEGEND

	MECHANICAL CONNECTION
	EXOTHERMIC WELD CONNECTION
	COMPRESSION FITTING CONNECTION
	5/8"x10' COPPER-CLAD STEEL GROUND ROD
	5/8"x10' COPPER-CLAD STEEL GROUND ROD WITH INSPECTION WELL
	PROPOSED GROUND WIRING
	EXISTING GROUND WIRING
	TINNED COPPER GROUND BAR 1/4"x4"x12" OR 1/4"x4"x20"
	COLLECTOR GROUND BAR
	MAIN GROUND BAR
	CGB
	MGB

NOTE:
SEE COMPOUND PLAN FOR COMPOUND ORIENTATION, UTILITY H-FRAME, GATE AND TOWER LOCATION.

NOTE:
REFER TO SPECIFIC CARRIER EQUIPMENT GROUNDING PLAN FOR NEW CARRIER EQUIPMENT GROUNDING.

NOTE:
OBJECTIVE:

- RING AROUND TOWER WITH ALL TOWER LEGS GROUNDED, MONOPOLE SHALL HAVE AT LEAST TWO GROUNDS TO EARTH.
- CONNECTION TO FENCE POSTS AT ALL CORNERS OR CHANGES IN FENCE DIRECTION GREATER THE 45°.
- CONNECTIONS TO EACH SIDE OF ANY GATE POSTS.
- CONNECTIONS TO UTILITY H-FRAME.
- INSTALL ENOUGH GROUND RODS TO ENSURE 5 OHMS OR LESS RESISTANCE.

GROUNDING NOTES

SCALE
N.T.S. 3

GROUNDING PLAN AND DETAILS

SCALE
N.T.S. 1



DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION



TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
GROUNDING
PLAN DETAILS

SHEET NUMBER
G-1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

DRAWN BY: JS
CHECKED BY: —

REV	DATE	DESCRIPTION
0	11/19/24	PERMIT/CONSTRUCTION
1	12/06/24	PERMIT/CONSTRUCTION
2	01/30/25	PERMIT/CONSTRUCTION
3	02/13/25	PERMIT/CONSTRUCTION
4	04/14/25	PERMIT/CONSTRUCTION
5	08/28/25	PERMIT/CONSTRUCTION

ENGINEER'S SEAL
I hereby certify that the design, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois.

MICHAEL L. PINSKE
062-061932

STATE OF ILLINOIS
Professional Engineer
Signature: _____ Date: 8/29/2025
Expiration: 11/30/25

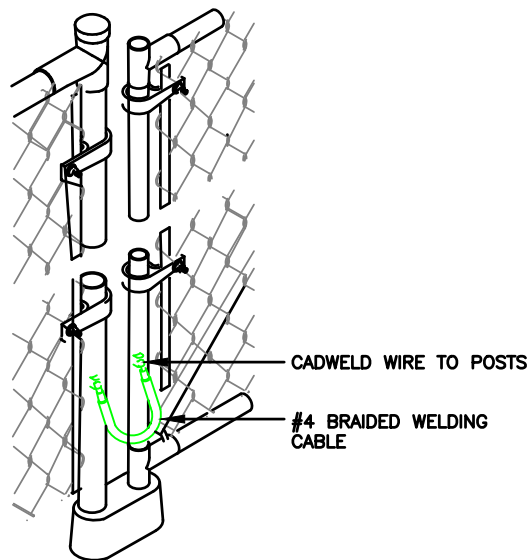
TOWERCO SITE ID: IL0378
AT&T SITE# IL0378
AT&T SITE NAME: VILLA PARK
SITE ADDRESS:
355 WEST HIGH RIDGE ROAD
VILLA PARK, IL 60181

SHEET TITLE
GROUNDING
PLAN DETAILS

SHEET NUMBER
G-2

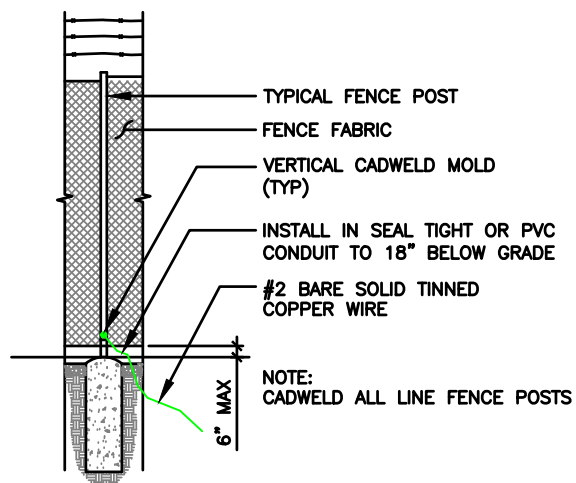
NOT USED

SCALE
N.T.S. **2**



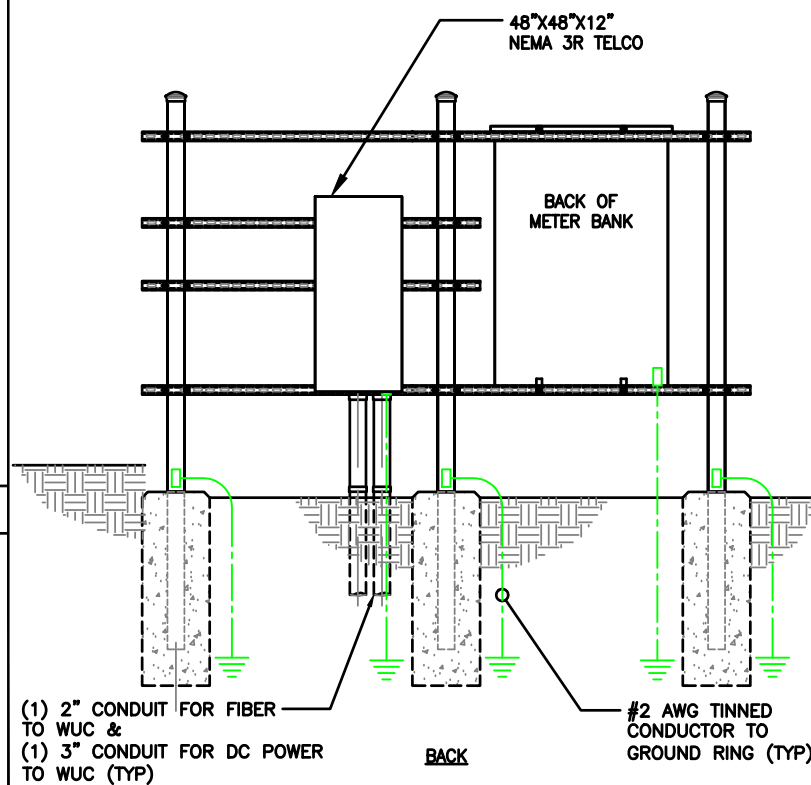
GATE GROUNDING DETAIL

SCALE
N.T.S. **4**



TYPICAL FENCE POST GROUNDING

SCALE
N.T.S. **3**

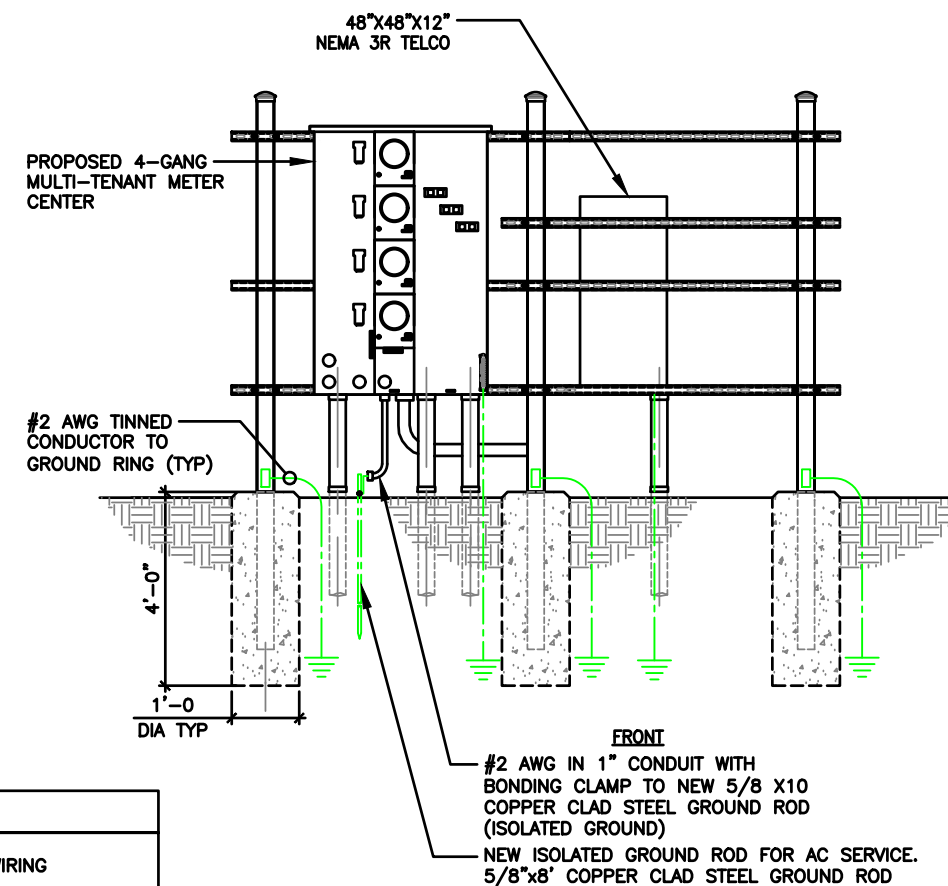


GROUNDING LEGEND

	MECHANICAL CONNECTION		PROPOSED GROUND WIRING
	EXOTHERMIC WELD CONNECTION		EXISTING GROUND WIRING
	COMPRESSION FITTING CONNECTION		TINNED COPPER GROUND BAR 1/4\"/>
	CGB COLLECTOR GROUND BAR		MGB MAIN GROUND BAR

H-FRAME GROUNDING

SCALE
N.T.S. **1**



NOTE:
2 BOLT MECHANICAL LUG CONNECTION AT ALL EQUIPMENT
GROUND POINT: ADD NON OX COMPOUND

TYPICAL FENCE POST GROUNDING